



# 2019 Development Review Application

City staff contact: Dan Olson  
 763-531-1142  
[dan.olson@crystalmn.gov](mailto:dan.olson@crystalmn.gov)  
 4141 Douglas Dr N Crystal, MN  
[www.crystalmn.gov](http://www.crystalmn.gov)

1. Property Address for this application:

2. Property Identification Number (PID):

3. Applicant:

Name: Stephen Linn / Linn Investment Properties, LLC			
Street: 7616 Currell Blvd., Ste. 245	City: Woodbury	State: MN	Zip: 55125
Telephone: 651.731.0515			
Email: SLinn@thelinnco.com			

4. Property Owner:

Same as the Applicant (if so, you don't need to complete this section)

Different from the Applicant (complete this section)

Name: Stephen D. Schwappach			
Street: 4169 Adair Ave. N.	City: Crystal	State: MN	Zip: 55422
Telephone: 612.968.0480.			
Email: sds2029@yahoo.com			

5. Project name and description:

The applicant desires to raze the existing building and parking area to construct a new Tumble Fresh Coin Operated Laundry Facility. The project will consist of a new 4,770 s.f. building, parking facility, out door sitting area, and sidewalk. Please refer to the narrative and plans provided as part of this application for details.

6. Project contact (the applicant shall designate one contact person for the application):

Name: Todd Olin	Role in Project: Client Service Manager		
Company: Sambatek			
Street: 12800 Whitewater Drive, Ste 300	City: Minnetonka	State: MN	Zip: 55345
Business Telephone: 763.496.5730			
Email: tolin@sambatek.com			

7. Additional design/engineering professional (if applicable):

Name:		Role in Project:	
Company:			
Street:	City:	State:	Zip:
Business Telephone:			
Email:			

8. Application type: A complete development review application includes the following:
- Completed and signed development review application form
  - Completed and signed escrow form (if applicable - see list of application types below)
  - Completed application checklist for each respective type of application (see list below)
  - Payment of application fee for each respective type of application (see list below)

Type of application (check all that apply):	Application fee (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$205 + \$205 escrow
<input type="checkbox"/> Administrative Appeal	\$205
<input type="checkbox"/> Comprehensive Plan Amendment	\$615 + \$615 escrow
<input type="checkbox"/> Conditional Use Permit	\$615 + \$615 escrow [2]
<input type="checkbox"/> Lot consolidation	\$410 + \$410 escrow
<input type="checkbox"/> Rezoning to Planned Development	\$1,230 + \$1,230 escrow
<input checked="" type="checkbox"/> Site Plan	\$615 + \$307.50 escrow
<input type="checkbox"/> Subdivision	\$615 + \$62 per lot over 2, + \$615 escrow
<input checked="" type="checkbox"/> Vacation of a public street or easement	\$515 + \$515 escrow
<input type="checkbox"/> Variance	\$515 + \$257.50 escrow
<input type="checkbox"/> Zoning Certificate	\$100 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$615 + \$615 escrow
<b>Total fee: \$1,130</b>	

[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the documents associated with the application. For telecommunication towers, the escrow fee will be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.

[2]: The fee for a telecommunication tower is \$2,000, plus a \$10,000 escrow

**Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.**

I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.

Signature of Applicant:  Date: 11-18-19

Signature of Property Owner (if different from Applicant):  Date: 11-11-19

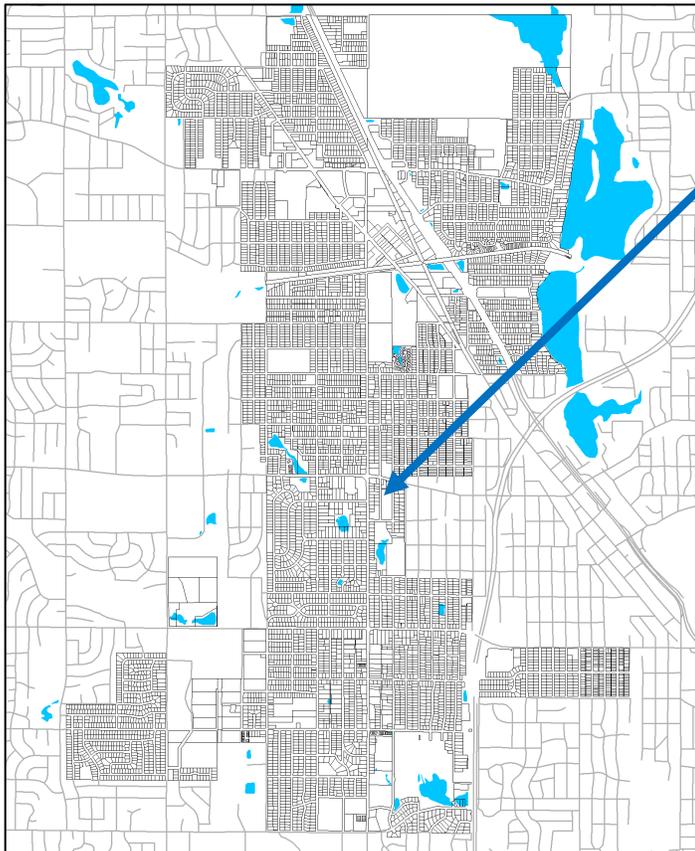
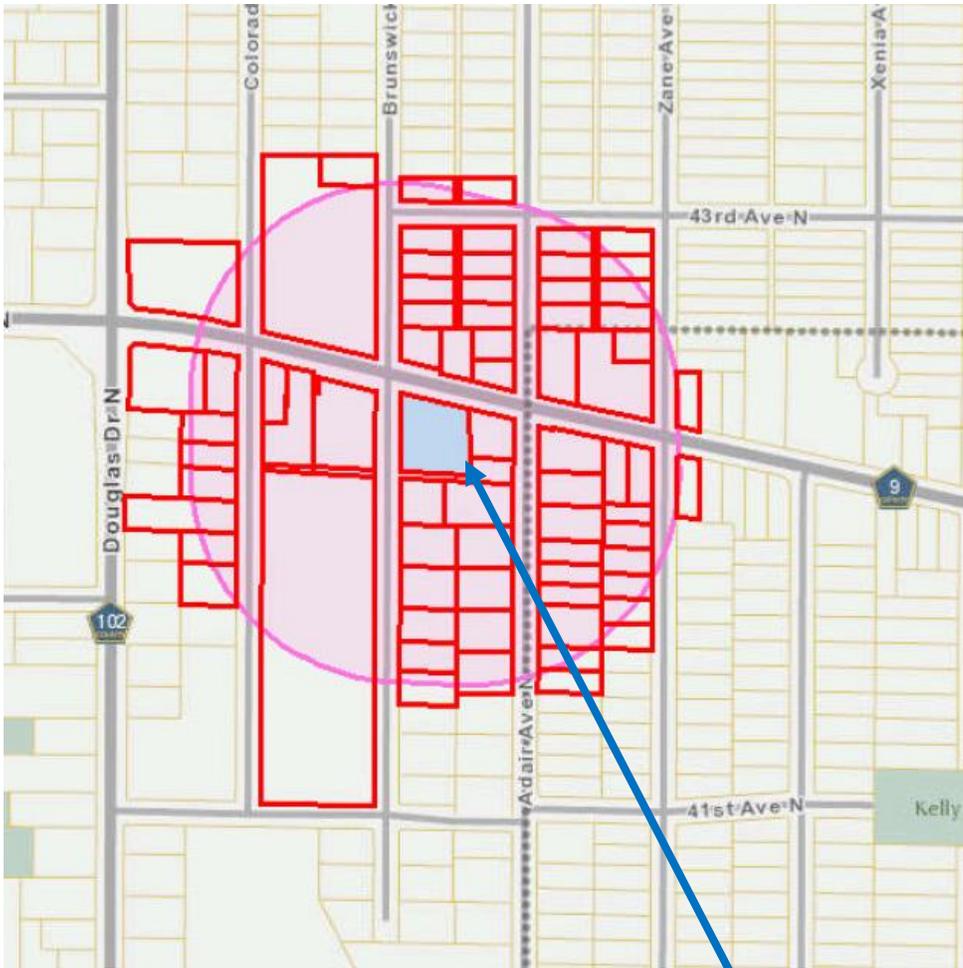
FOR OFFICE USE ONLY: Application # 2020-01 Accounting # 0100.4418 Receipt # 160700 Date Received 12-18-2019

Acknowledgement letter sent    /    /    If application incomplete, was 60-day rule language included   

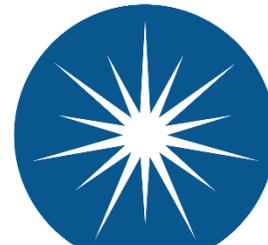
Plan Comm hearing    /    /    City Council action    /    /    Approved? Yes    No    Other   

NOTES: \_\_\_\_\_

# Site Location and Public Hearing Notice Mailing Map



6023 – 42nd Ave. N



**CITY of CRYSTAL**

4141 Douglas Dr. N.  
Crystal MN 55422

**CITY OF CRYSTAL**

**SITE PLAN REVIEW  
6023 - 42<sup>ND</sup> AVENUE NORTH**

**PUBLIC HEARING NOTICE  
7:00 P.M. ON MONDAY, JANUARY 13, 2020  
CRYSTAL CITY HALL (4141 DOUGLAS DR N)**

**The Crystal Planning Commission will consider a Site Plan Review application from Linn Investment Properties to construct a 4,700 square foot Tumble Fresh laundry at 6023 - 42<sup>nd</sup> Avenue North (former Sweet Taste of Italy location).**

General summary of the proposal:

- Linn Investments is proposing to demolish the existing restaurant building and parking lot and construct a new 4,700 square foot Tumble Fresh laundry. The construction of this building requires approval of a site plan review application by the City Council.
- The applicant is providing 22 parking spaces in the new parking lot, which meets the minimum number of spaces required by the city's unified development code.

**The Planning Commission will hold a public hearing on the Site Plan Review application at 7:00 p.m. on January 13, 2020 in the Council Chambers at Crystal City Hall.**

**To view the application including a detailed site plan:**

- ▶ Visit Crystal City Hall during normal business hours, or
- ▶ Visit the 2020 Land Use Applications page on the city website, [www.crystalmn.gov](http://www.crystalmn.gov) (the staff report to the Planning Commission will be available by January 10<sup>th</sup> on the same page of the website).

**To speak directly to the Planning Commission on the proposal**, please attend the public hearing on Monday, January 13, 2020 at 7 p.m. at Crystal City Hall.

**LEGAL NOTICE:** Notice is hereby given that the Planning Commission of the City of Crystal will meet on January 13, 2020 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a site plan review application to allow Linn Investment Properties to construct a Tumble Fresh laundry at 6023 – 42<sup>nd</sup> Avenue North. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, January 21, 2020 at Crystal City Hall, 4141 Douglas Drive North. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids for handicap persons are available upon request at least 96 hours in advance. Please call the City Clerk at 763-531-1145 to make arrangements. Deaf and Hard of Hearing callers should contact the Minnesota Relay Service at 800-627-3529 V/TTY or call 711 to be connected to a TTY.



Tumble Fresh Coin Laundry is a Minnesota born, expanding regional chain of self-service laundromats started in 2010 by Stephen Linn of the Linn Companies offering new levels of amenities and an environment that is inviting, comfortable and convenient. With six locations currently established and four, including this location, planned for a 2020 opening, Tumble Fresh Coin Laundry has emerged as the largest chain of luxury laundromats in the Midwest.

The three most recent stores completed at the end of 2018 / start of 2019 showcase the latest established design that has set the standard moving forward, both inside and out. Examples of the Blaine and Hudson locations are included which illustrate the level of detail, quality and craftsmanship as well as the individuality that are inherent in the brand and are a part of the identity of Tumble Fresh Coin Laundry. All new Tumble Fresh Coin Laundry sites, going forward, will be executed in this fashion.

The exterior uses a mix of materials including several brick colors, simulated stone, EIFS and glass that are articulated in a manner to emphasize signage and entry points. The intent is to break up the larger mass of the building to create visual interest, further accentuating it by use of decorative light fixtures and fabric awnings. These various elements contribute towards the graphic identity of a Tumble Fresh Coin Laundry. Key sign areas, typically with an arch, have an accent blue band in addition to an LED light tube accent for added interest.

Some key exterior elements include a monument sign with an electronic message center which not only creates a presence at the street level but allows for added, professionally created, marketing of current specials and messaging. An exterior car vacuum station provides an added on-site amenity for patrons to utilize while doing laundry. There are exterior seating areas that provide added waiting opportunities, all of which are very accessible and within view of the interior. A small trash enclosure with screening materials, in keeping with the building look and feel, is present along with numerous exterior trash and ash bins to make it easy for customers to self-regulate their trash. Entry bollards not only provide an increased secure barrier for pedestrian friendly zones along the building, but they allow for a zero curb line that is often more user friendly, minimizing slip and fall hazards.

Key interior elements include functional aspects related to self-service laundry and unique areas to help pass the time while the machines do their work. Typically, dryer banks are located along the perimeter with washer banks centralized. A customer lounge area offers an isolated area where guests can access vending machines with snacks, beverages and a game or a toy for a child, while still being open and visible through windows to the exterior and glass to the main laundry area. A community table within the main space provides a location where guests can get some work done or merely gather with friends and family. The community table includes the added convenience of power for charging of devices, such as phones and laptops. There is additional furniture located throughout the store, be it benches with a range of seats, multiple refuse bins or folding tables. There is a merchandise dispenser for soaps or fabric softeners as well as several bill changers to provide coin for those who prefer cash. All equipment, however, is fully digital, allowing the use of all credit cards or can be accessed / purchased via the Tumble Fresh Coin Laundry app, powered by Fascard. A hand wash station provides an area for easy clean up from detergents, an area to address a delicate item or a stubborn stain. Toilet rooms include baby changing stations as well as touchless fixtures with a maintenance free, well-lit interior, including occupancy sensors for interior lights.

Each store contains an office for staff to provide necessary services or other onsite business functions. A comment card box is available for customer feed-back and concerns. A series of cameras and other security measures work with the building automation system to keep customers and employees safe. The automation system monitors and secures doors, verifies store occupants, controls lighting, plays audio messaging, activates and deactivates the alarm system as well as providing other security aspects, allowing the store to operate un-manned in the physical sense. Security monitors greet patrons as a deterrent and to provide peace of mind. Security cameras throughout the interior and exterior are recorded with DVR technology providing remote viewing, playback and investigative information. Cleaning by staff occurs frequently one to four times a day, depending on the day and level of activity, to keep things exceptionally clean. A janitor's closet provides access to key items as well as a home for a floor scrubber. All Tumble Fresh Coin Laundry locations offer ATM's with the Minnesota stores also offering lottery tickets through Minnesota's Lottery vending equipment. Several service areas for equipment or support items, such as water heaters, water softener, gas lines, exhaust ductwork, lint interceptor and roof access, make up the balance of the store. Dryer exhaust typically exits the building through the rear wall with the vent hoods being painted to match the adjacent surface minimizing their presence. Future dryer expansion area will vent through the roof. Locations of the central part of the roof, like the rtu's are effectively screened by the parapets with the visual angle from grade.

The interior environment composed of the equipment and seating incorporates a polished concrete floor with an undulating pattern that plays off the open ceiling with articulated circular soffit areas and accent lighting. Walk off mats at the entries help deal with winter climate conditions including snow, salt and sand. A range of lighting helps the store stay well-lit and visually interesting as do the wide range of graphics and sign elements throughout, reinforcing the visual identity of the brand. Warm wood tones help frame equipment and provide a wainscot with wall bumper to ward off rouge carts.

All Tumble Fresh Coin Laundry locations are open during the hours of 5:00 am to 1:00 am providing unmatched convenience within the industry. Most services on site including, management, cleaning, grounds maintenance, equipment repair and preventive maintenance are performed by direct employees of the Linn Companies or it's business unit, Tumble Fresh Coin Laundry.

All Tumble Fresh Coin Laundry properties are developed and owned by Linn Investment Properties, LLC, a business unit of the Linn Companies. From property investment to building design to construction development and ultimately operations, Tumble Fresh Coin Laundry takes pride in what they do every step of the way. It is clear why today Tumble Fresh Coin Laundry is the fastest growing chain of luxury laundromats in the Midwest.



TUMBLE  
fresh  
COIN LAUNDRY





**TUMBLE**  
*fresh*  
**COIN LAUNDRY**

2303

2303

Handicapped parking sign

NO PARKING

VA CURB SIDE PARKING



Tumble Dry  
COIN LAUNDRY

2305

2305

2305



TUMBLE  
fresh

COIN LAUNDRY

AutoZone





**TUMBLE**  
*fresh*  
**COIN LAUNDRY**





TUMBLE Fresh  
COIN LAUNDRY

TUMBLE Fresh  
COIN LAUNDRY

TUMBLE Fresh  
COIN LAUNDRY

OPEN EVERYDAY  
AT 5:00AM

KWIK TRIP





TACO BELL  
Drive Thru

Caribona COFFEE

15 MIN  
PARKING

Jimmy John's

VACUUM  
PARKING  
ONLY

VACUUM  
PARKING  
ONLY



10501

**TUMBLE**  
*fresh*  
**COIN LAUNDRY**

10501

ACCESSIBLE BY RECORDS  
FOR THE NEEDS OF THE HANDICAPPED  
VAN ACCESSIBLE

OURS OF OPERATION  
10:00 AM - 10:00 PM

**TUMBLE**  
*fresh*  
COIN  
LAUNDRY

**ALL!**  
MACHINES  
ACCEPT  
CREDIT CARDS



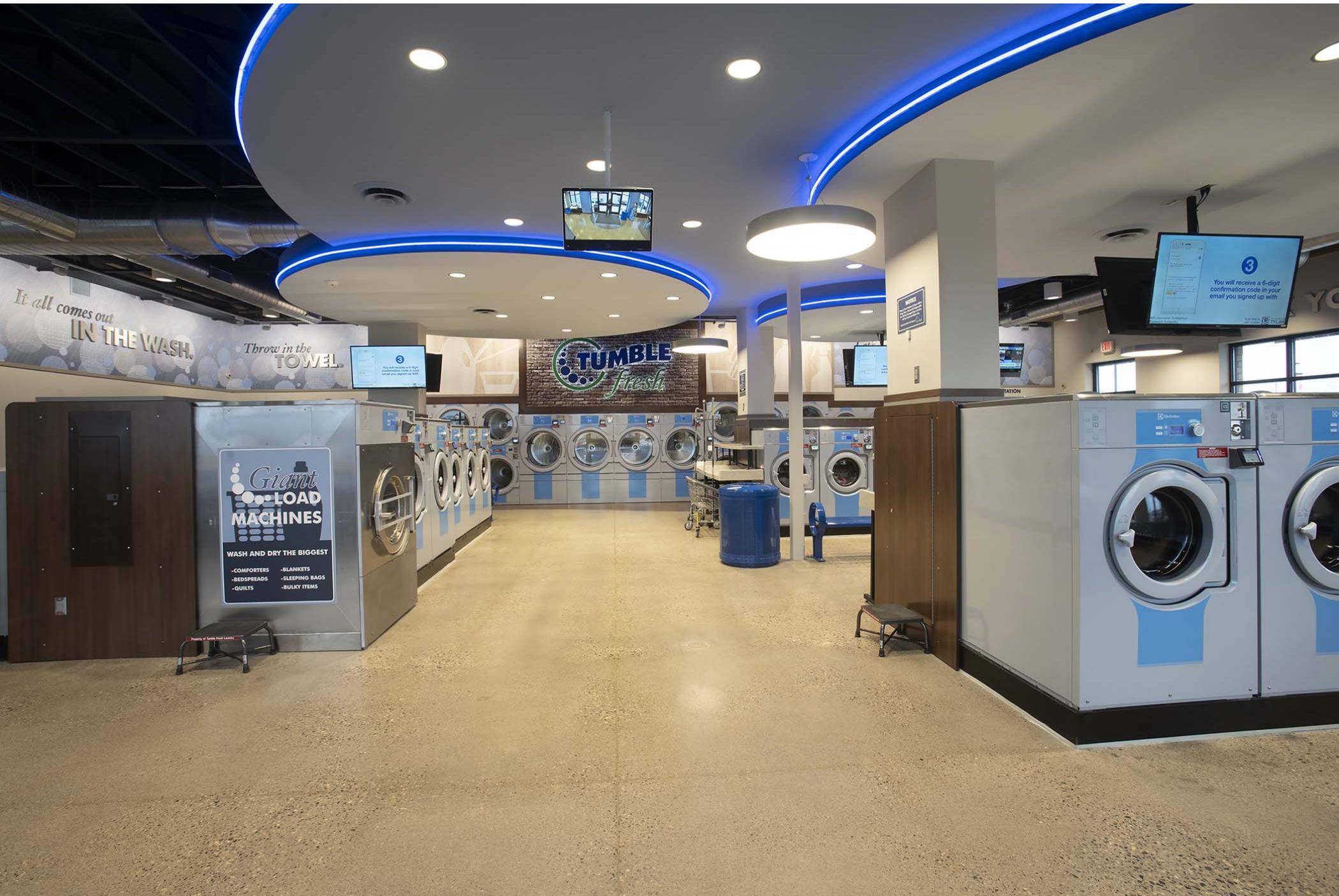
PARK ONLY



**TUMBLE**  
*fresh*  
**COIN LAUNDRY**

10501

**TUMBLE**  
*fresh*  
**COIN LAUNDRY**



It all comes out  
IN THE WASH.

Throw in the  
TOWEL.

TUMBLE  
fresh

**Giant  
LOAD  
MACHINES**

WASH AND DRY THE BIGGEST

- COMFORTERS
- BLANKETS
- BEDSPREADS
- SLEEPING BAGS
- QUILTS
- BULKY ITEMS

3  
You will receive a 6-digit confirmation code in your email you signed up with.

3  
You will receive a 6-digit confirmation code in your email you signed up with.

NOTICE

STATION



**TUMBLE**  
*fresh*  
COIN LAUNDRY

**TUMBLE**  
*fresh*

*Giant*  
**LOAD**  
**MACHINES**

WASH AND DRY THE BIGGEST

- COMFORTERS
- BLANKETS
- BEDSPREADS
- SLEEPING BAGS
- QUILTS
- BULKY ITEMS

**TUMBLE**  
*fresh*  
COIN LAUNDRY

VISITING

**TUMBLE**  
*fresh*

# Guest LOUNGE



**SOAP CENTER**

SOAP  
BULB  
FOOTPRINT  
LAUNDRY BAGS

TUMBLE

**CHANGE**

CHANGE

*It all comes out*  
**IN THE WASH.**

*Throw in the*  
**TOWEL**

WASHER  
LAUNDRY OPS  
DRIER

**Giant LOAD MACHINES**

WASH AND DRY THE BIGGEST

- COMFORTERS
- BLANKETS
- BEDSPREADS
- SLEEPING BAGS
- QUILTS
- BULKY ITEMS





DUNGE



RESTROOMS



WASH.

BLE  
fresh



Let's get ready to  
TUMBLE!



HAND WASH STATION





Let's get ready to  
**TUMBLE!**

**HAND WASH STATION**

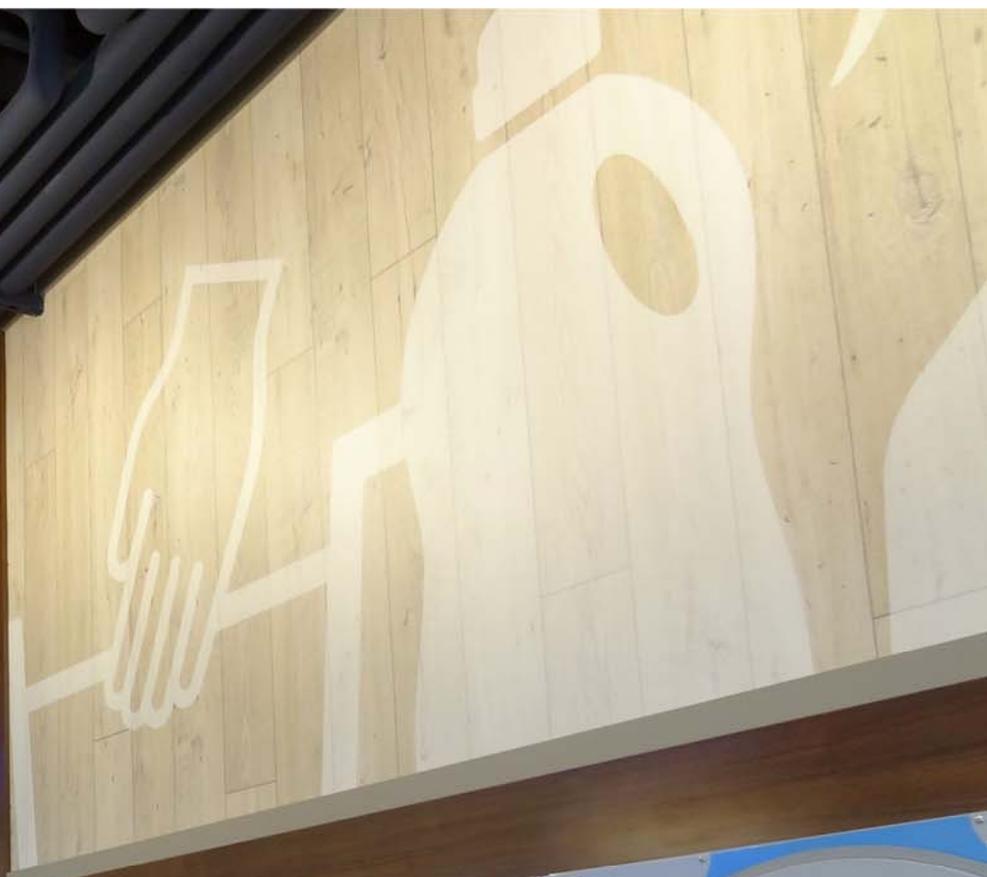
LET'S WASH.

LAUNDRY 101  
TIPS

BREXIT?  
SOON UK PARLIAM  
No Robertson



**TUMBLE**  
fresh



THE WASH.

LAUNDRY TIPS

DRYER INSTRUCTIONS



Laundry is THE CYCLE OF LIFE

# Guest LOUNGE









# Preliminary Site Development Plans

for

# Tumble Fresh

Coin Operated Laundry

Crystal, Minnesota

Presented by:

## Linn Investment Properties, LLC



www.sambatek.com  
12800 Whitewater Drive, Suite 300  
Minnetonka, MN 55343  
763.476.6010 telephone

Engineering | Surveying | Planning | Environmental

**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

**Certification**  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Joshua E. Balz  
Registration No. 1279 Date: MM/DD/2019  
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

**Summary**  
Designed: MJJ Drawn: MJJ  
Approved: JEB Book / Page:  
Phase: PRELIMINARY Initial Issue: MM/DD/2019

**Revision History**  
No. Date By Submittal / Revision

**Sheet Title**  
**TITLE SHEET**

**Sheet No. Revision**  
**C1.01**

**Project No.** 21978

SHEET INDEX	
SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	EXISTING CONDITIONS PLAN
C2.02	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	PHASE I EROSION CONTROL PLAN
C5.02	PHASE II EROSION CONTROL PLAN
C5.03	EROSION CONTROL NOTES & DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
C9.02	DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE DETAILS AND NOTES
X1.01	VACUUM NOISE EXHIBIT
X1.02	LIGHTING PHOTOMETRIC
A2.1	PROPOSED FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR RENDERING

**GOVERNING SPECIFICATIONS**  
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2013)  
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2018 EDITION)



VICINITY MAP  
NO SCALE

**CONSULTANT CONTACT LIST:**

**DEVELOPER/OWNER**  
LINN INVESTMENT PROPERTIES, LLC  
7616 CURELL BLVD, SUITE 245  
WOODBURY, MN 55125  
TEL 651-731-0515  
SLINN@THELINNCO.COM  
CONTACT: STEPHEN LINN

**CIVIL ENGINEER**  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-476-6010  
TOLIN@SAMBATEK.COM  
CONTACT: TODD OLIN

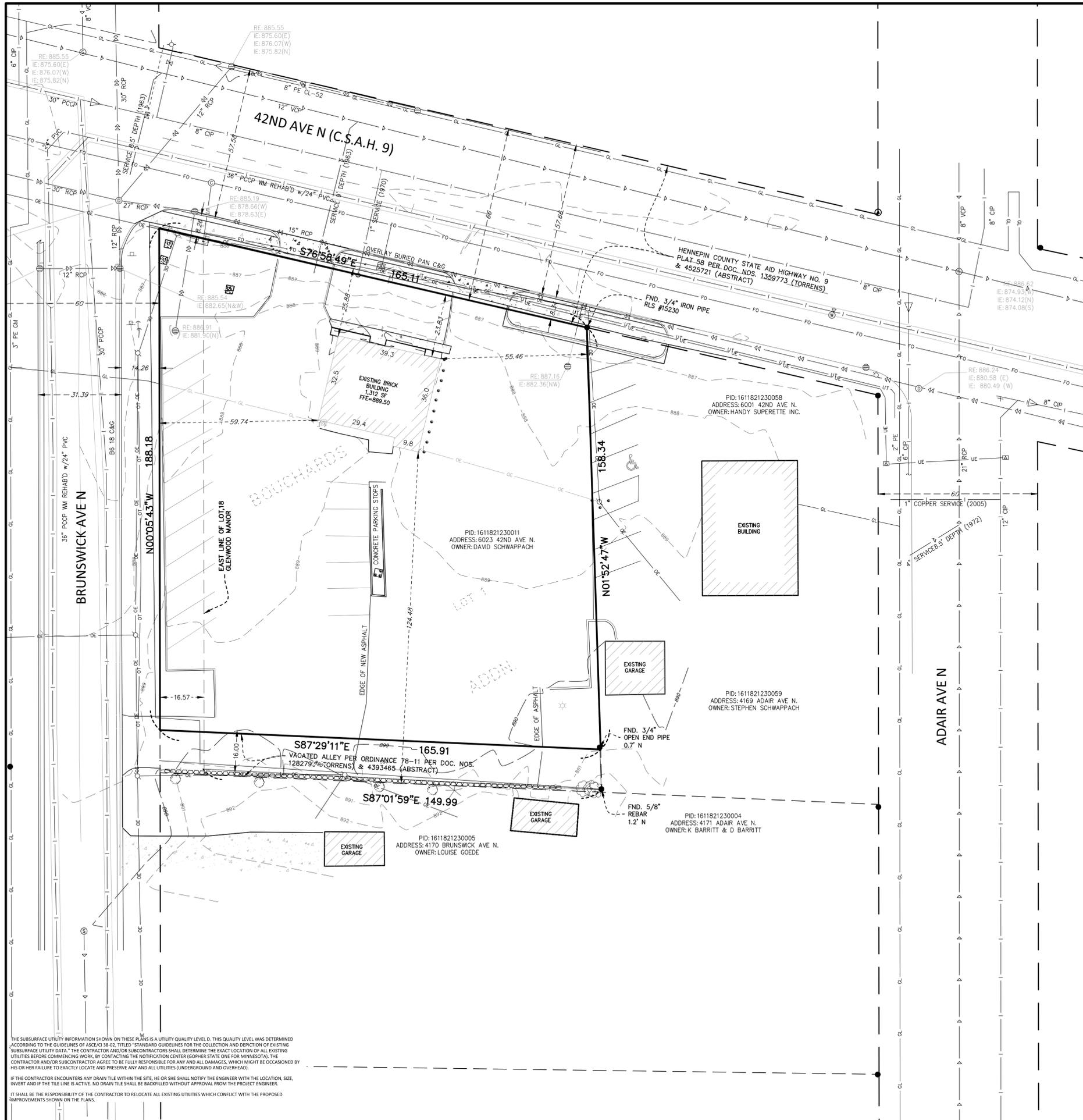
**ARCHITECT**  
ARCHITECTURAL CONSORTIUM  
901 N 3RD ST  
MINNEAPOLIS, MN 55401  
TEL 612-436-4030  
ESTENDEL@ARCHCONSORT.COM  
CONTACT: ELLIOT STENDEL

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SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-476-6010  
CJOHNSON@SAMBATEK.COM  
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BRETT.LARSEN@TERRACON.COM  
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**LANDSCAPE ARCHITECT**  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-476-6010  
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13400 15TH AVE N  
PLYMOUTH, MN 55441-4532  
TEL 763-489-3166  
JENNIFER.FORCE@TERRACON.COM  
CONTACT: JENNIFER FORCE



**LEGEND**

- GAS METER
- HYDRANT
- LIGHT
- STORM SEWER
- DRAIN TILE
- WATERMAIN
- FORCE MAIN
- SANITARY SEWER
- OVERHEAD ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND CABLE TV
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- WIRE FENCE
- IRON FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- STONE RETAINING WALL
- SPRINKLER HEAD
- SPRINKLER VALVE
- GUARD RAIL
- HANDRAIL
- EDGE OF TREES
- TREES / SHRUBS
- CONCRETE
- GUARD POLES
- SIGNS
- CONCRETE CURB
- BITUMINOUS CURB
- BUILDING



**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
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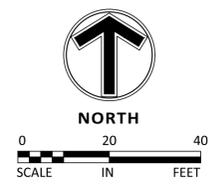
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Designed: MJJ Drawn: MJJ  
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Phase: PRELIMINARY Initial Issue: MM/DD/2019

**Revision History**  
No. Date By Submittal / Revision

**Sheet Title**  
**EXISTING**  
**CONDITIONS**  
**PLAN**

**Sheet No. Revision**  
**C2.01**

**Project No.** 21978



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOVERNOR STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

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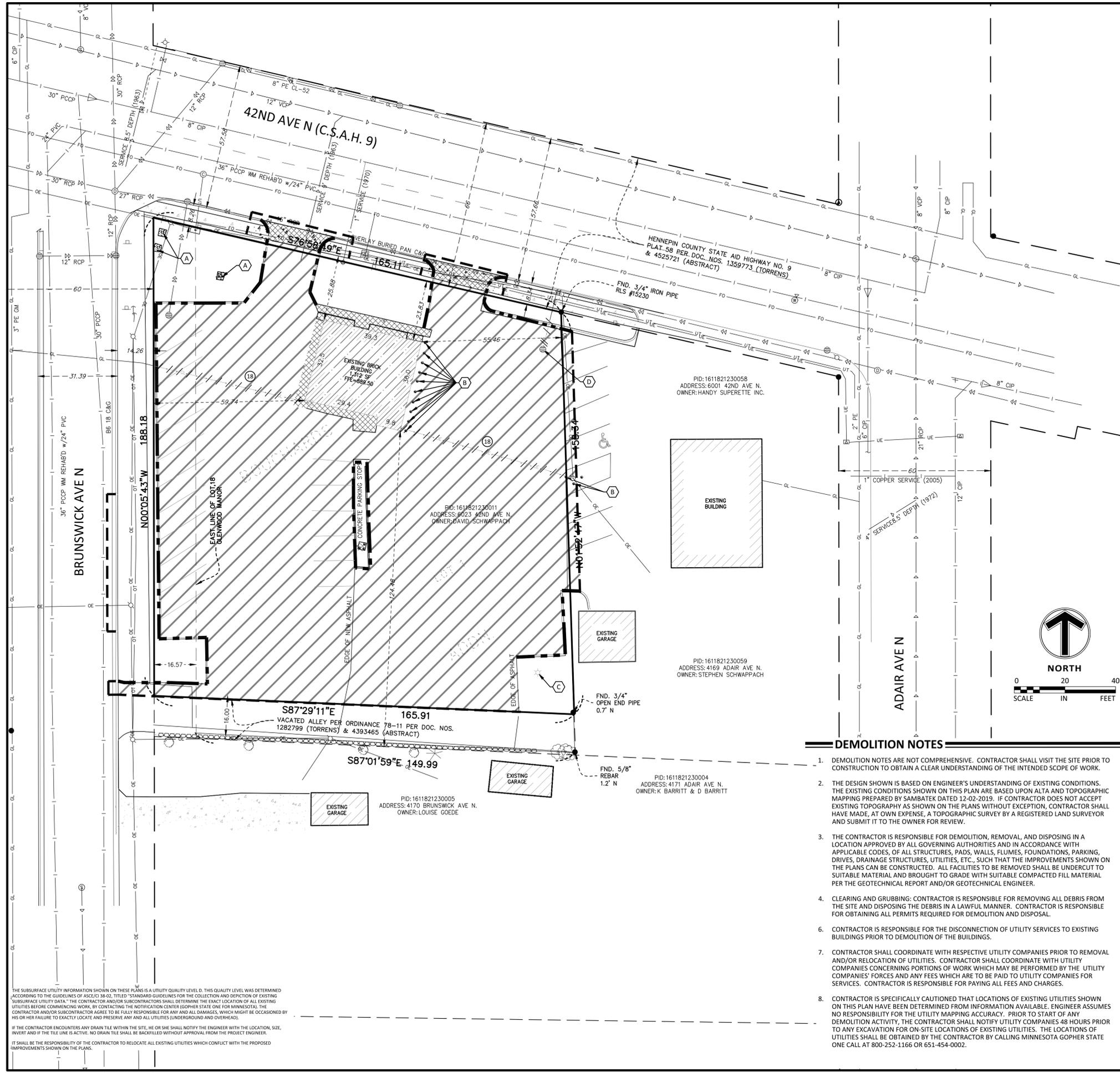
**Revision History**

No. Date By Submittal / Revision

**Sheet Title**  
**DEMOLITION**  
**PLAN**

**Sheet No. Revision**  
**C2.02**

**Project No.** 21978



**LEGEND**

Symbol	Description
[Symbol]	GAS METER
[Symbol]	HYDRANT
[Symbol]	LIGHT
[Symbol]	STORM SEWER
[Symbol]	DRAIN TILE
[Symbol]	WATERMAIN
[Symbol]	FORCE MAIN
[Symbol]	SANITARY SEWER
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	UNDERGROUND CABLE TV
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	UNDERGROUND GAS
[Symbol]	WIRE FENCE
[Symbol]	IRON FENCE
[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE
[Symbol]	STONE RETAINING WALL
[Symbol]	SPRINKLER HEAD
[Symbol]	SPRINKLER VALVE
[Symbol]	GUARD RAIL
[Symbol]	HANDRAIL
[Symbol]	EDGE OF TREES
[Symbol]	TREES / SHRUBS
[Symbol]	CONCRETE
[Symbol]	GUARD POLES
[Symbol]	SIGNS
[Symbol]	CONCRETE CURB
[Symbol]	BITUMINOUS CURB
[Symbol]	BUILDING
[Symbol]	REMOVE EXISTING UTILITY LINE
[Symbol]	REMOVE EXIST CONCRETE CURB
[Symbol]	SAW CUT EXISTING CONCRETE OR BITUMINOUS PAVEMENT
[Symbol]	REMOVE EXISTING BITUMINOUS PAVEMENT
[Symbol]	REMOVE EXISTING CONCRETE PAVEMENT
[Symbol]	REMOVE EXISTING BUILDING

**KEY NOTES**

- A. REMOVE EXISTING ELECTRONIC SIGN, CONDUIT & BASE
- B. REMOVE EXISTING BOLLARD
- C. REMOVE LIGHTING UNIT, BASE & CONDUIT
- D. REMOVE EXISTING DRAINAGE STRUCTURE

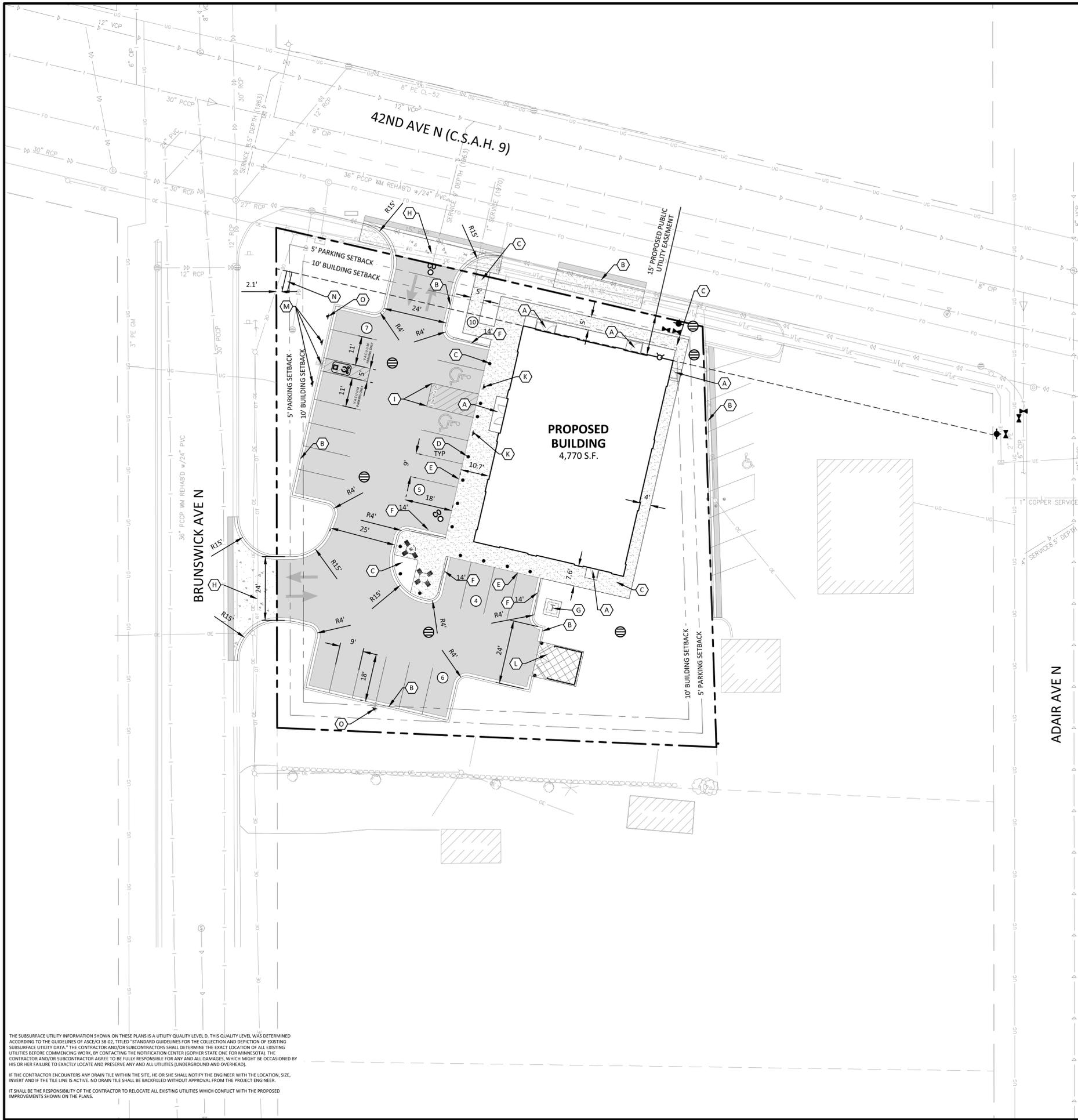
**DEMOLITION NOTES**

1. DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
2. THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY SAMBATEK DATED 12-02-2019. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
4. CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
5. CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
6. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
7. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
8. THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
9. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
10. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
12. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
13. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
14. CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
15. ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
16. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.
17. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS TO IDENTIFY LIMITS OF REMOVALS.

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**LEGEND**

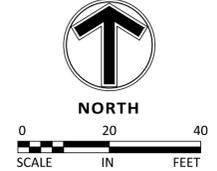
PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	HEAVY DUTY CONCRETE PAVING
EASEMENT	---	---	CONCRETE PAVING
BUILDING	---	---	CONCRETE SIDEWALK
RETAINING WALL	---	---	LIGHTING BY OTHERS
WETLAND LIMITS	---	---	
TREELINE	---	---	
SIGN	●		
PIPE BOLLARD	○		
NUMBER OF PARKING STALLS PER ROW	XX		
KEY NOTE	XX		

**DEVELOPMENT SUMMARY**

AREA	31,304 SF	0.72 AC
SITE AREA		
<b>BUILDING SETBACKS</b>		
FRONT YARD	10 FEET	
REAR YARD	10 FEET	
SIDE YARD	10 FEET	
CORNER SIDE YARD	15 FEET	
<b>PARKING SETBACKS</b>		
FRONT YARD	5 FEET	
REAR YARD	5 FEET	
SIDE YARD	5 FEET	
<b>ZONING</b>		
EXISTING ZONING	COMMERCIAL	
PROPOSED ZONING	COMMERCIAL	
<b>PARKING SUMMARY</b>		
PARKING REQUIRED	14 > STALLS < 23	
PARKING PROVIDED	22 STALLS	
ADA PARKING REQUIRED	2 STALLS	
ADA PARKING PROVIDED	2 STALLS	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
  - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
  - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
  - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - SEE ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS
  - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
  - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
  - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
  - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
  - PARKING NEEDS FOR A TUMBLE FRESH COIN LAUNDRY ARE GREATER THAN MANY OTHER RETAIL OR SERVICE RELATED BUSINESSES DUE TO THE FOLLOWING FACTORS:
    - NEARLY ALL PATRONS DRIVE TO A LAUNDROMAT IN ORDER TO HAUL IN AND OUT THEIR LAUNDRY.
    - AVERAGE TIME IN A LAUNDROMAT GENERALLY EXCEEDS ONE HOUR WHICH RESULTS IN LESS TURNOVER OF PARKING SPACES.
    - BUSINESS IS NOT EVENLY SPREAD OUT WHICH CREATES A LARGER PARKING NEED ON BUSIER DAYS, AS APPROXIMATELY 50% OF A LAUNDROMAT'S WEEKLY BUSINESS IS CONDUCTED ON SATURDAY AND SUNDAY.

- KEY NOTES**
- BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
  - B-612 CONCRETE CURB AND GUTTER (SEE DETAIL 01, SHEET C9.01)
  - CONCRETE SIDEWALK (SEE DETAIL 04, SHEET C9.01)
  - CONCRETE PIPE BOLLARD (SEE DETAIL 09, SHEET C9.01)
  - INTEGRAL CURB & SIDEWALK (SEE DETAIL 06, SHEET C9.01)
  - CURB TRANSITION FROM FLUSH CURB TO B-612 (SEE DETAIL 07, SHEET C9.01)
  - CONCRETE TRANSFORMER PAD (BY OTHERS)
  - COMMERCIAL DRIVEWAY (SEE CITY DETAIL, SHEET C9.02)
  - ACCESSIBLE STALL STRIPING (SEE DETAIL 08, SHEET C9.01)
  - ACCESSIBLE PARKING SIGN (SEE DETAIL 10, SHEET C9.01)
  - TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
  - VACUUM ISLAND & PARKING SIGNAGE (SEE ARCHITECTURAL PLANS)
  - MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
  - NO LOITERING SIGNAGE



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**Client**  
**LINN INVESTMENT PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Joshua E. Balz  
Registration No. 1279 Date: MM/DD/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

**Summary**

Designed: MJJ Drawn: MJJ  
Approved: JEB Book / Page:  
Phase: PRELIMINARY Initial Issue: MM/DD/2019

**Revision History**

No. Date By Submittal / Revision

**Sheet Title**  
**SITE PLAN**

**Sheet No. Revision**  
**C3.01**

**Project No.** 21978

**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

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Joshua E. Balz  
Registration No. 1279 Date: MM/DD/2019  
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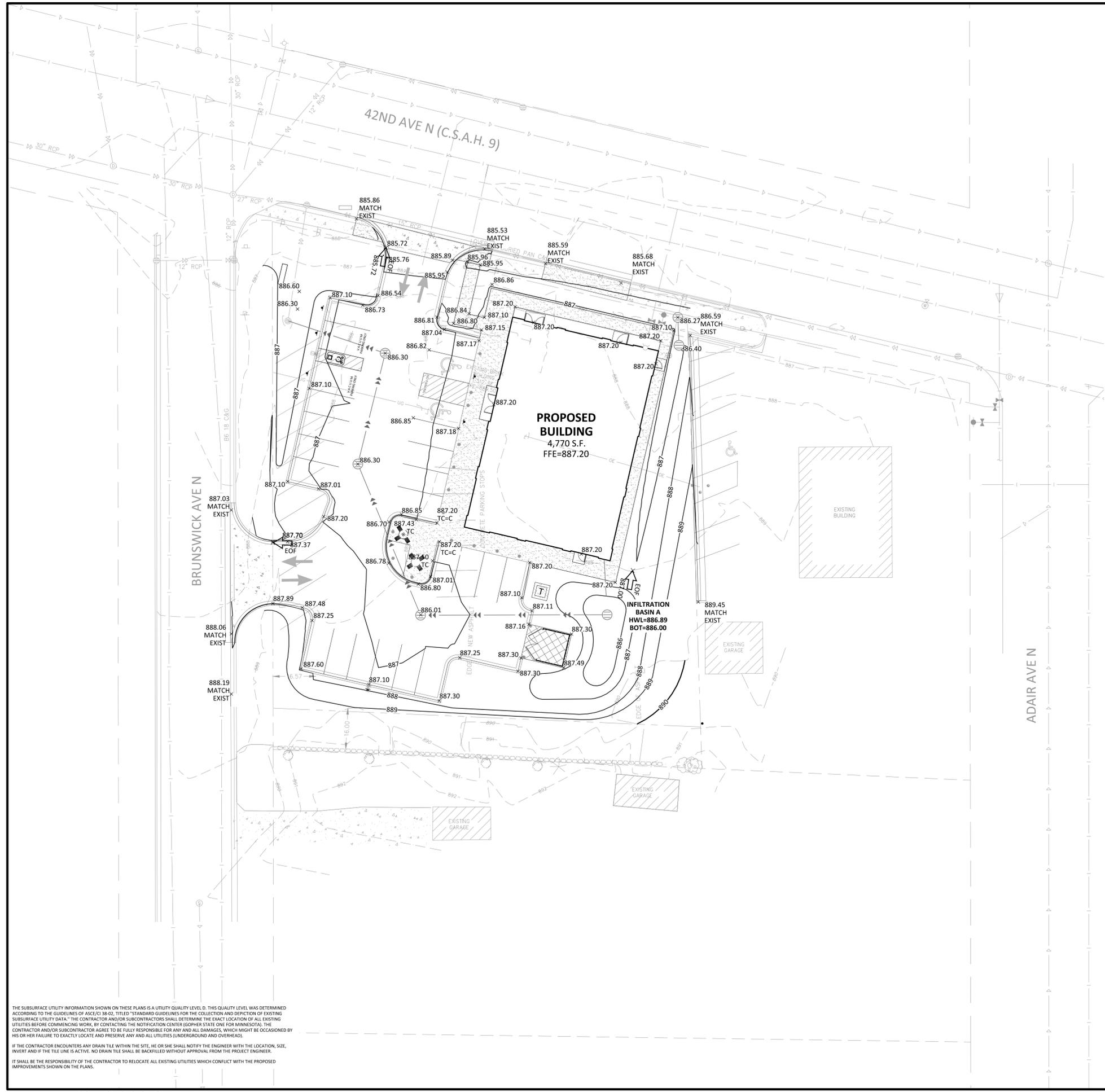
**Sheet Title**  
**GRADING PLAN**

**Sheet No. Revision**  
**C4.01**

**Project No.** 21978

**LEGEND**

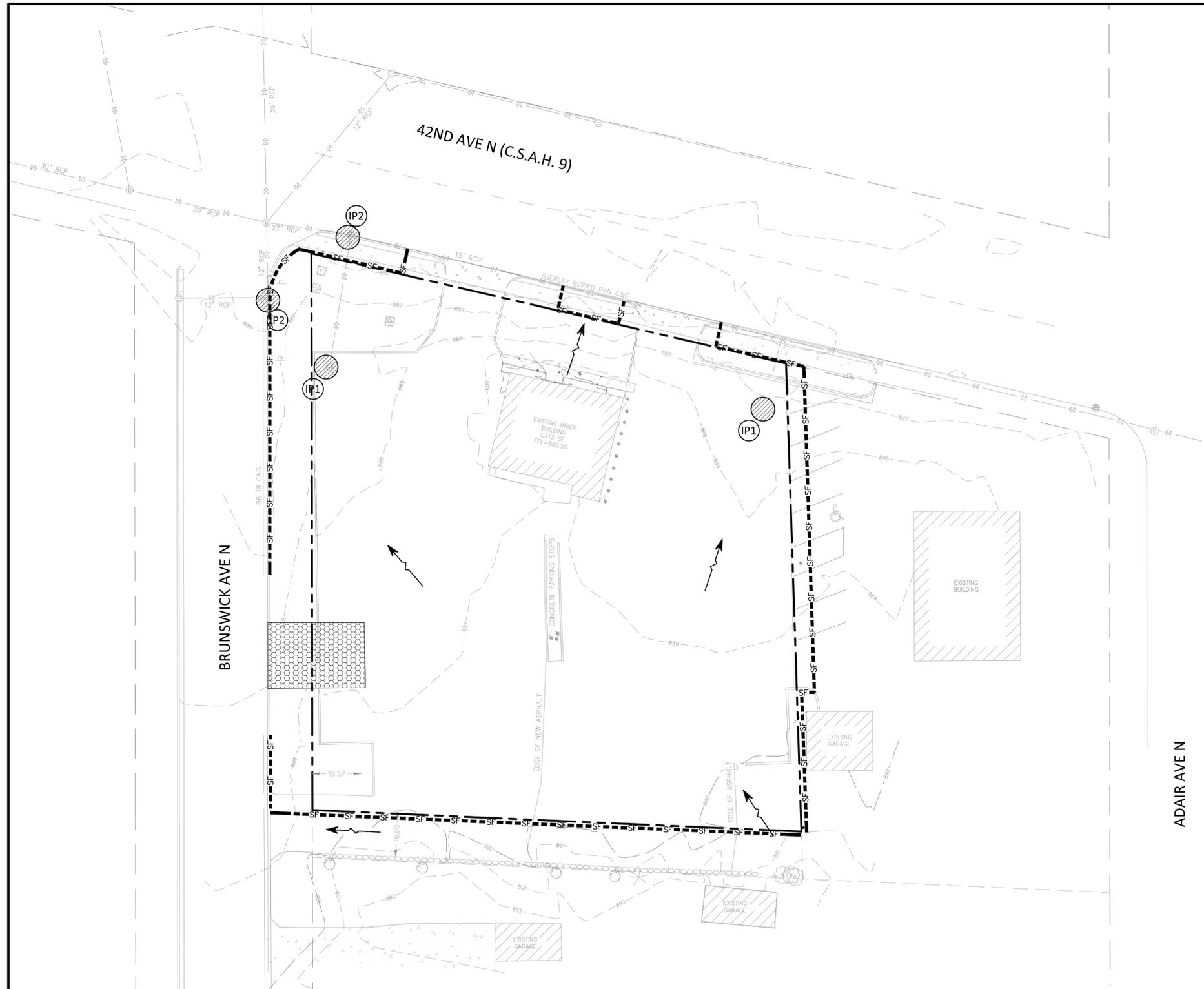
PROPERTY LIMIT	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		
TREELINE		
SPOT ELEVATION		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SOIL BORINGS		



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**LEGEND**

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SILT FENCE		
SILT DIKE		
LIMITS OF DISTURBANCE		
SOIL BORINGS		
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE		
TEMPORARY STONE CONSTRUCTION ENTRANCE		
TEMPORARY SEDIMENT BASIN		
TEMPORARY STORAGE AND PARKING AREA		
TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)		

**NOTE TO CONTRACTOR**

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BIMPS DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

**EROSION CONTROL MATERIALS QUANTITIES**

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	500
BIO-ROLL	LINEAR FEET	100
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	2
INLET PROTECTION DEVICE (IP-2)	UNIT	2

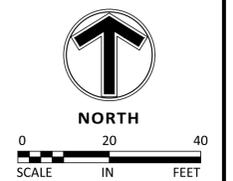
\* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

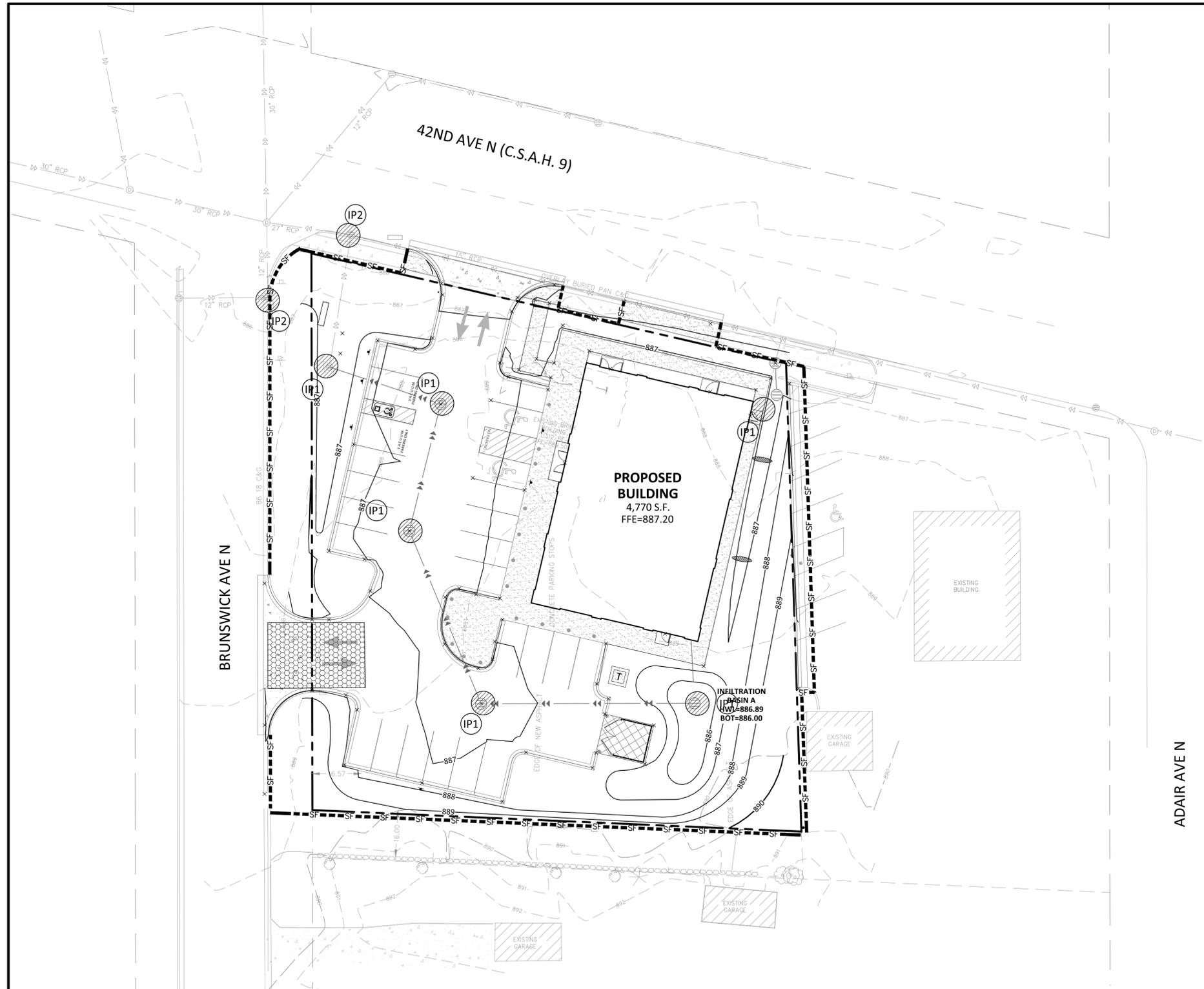
**SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
ROUGH GRADE / SEDIMENT CONTROL																			
TEMPORARY CONSTRUCTION ROADS																			
FOUNDATION / BUILDING CONSTRUCTION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING / SEED / FINAL STABILIZATION																			
STORM FACILITIES																			

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**LEGEND**

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SILT FENCE		
SILT DIKE		
LIMITS OF DISTURBANCE		
SOIL BORINGS		
DIRECTION OF OVERLAND FLOW		
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CHECK DAM		
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BIO-ROLL		
INLET PROTECTION DEVICE		
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TEMPORARY SEDIMENT BASIN		
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BIO-ROLL	LINEAR FEET	120
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	6
INLET PROTECTION DEVICE (IP-2)	UNIT	2

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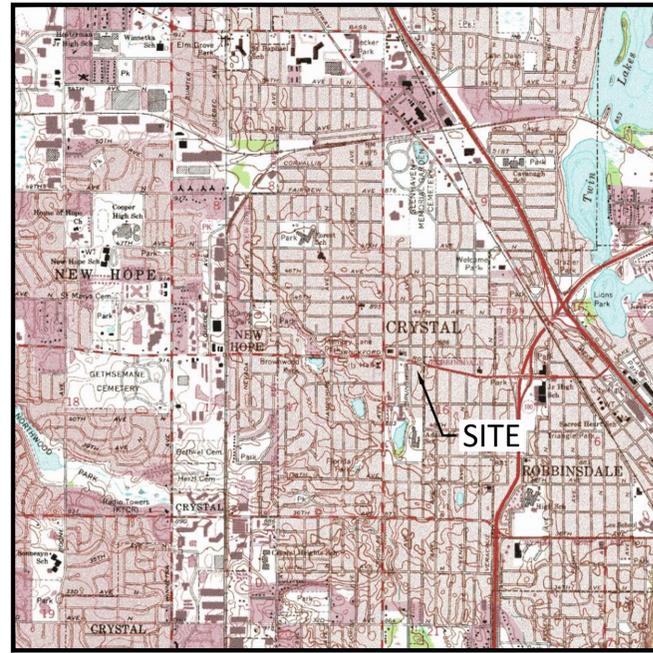
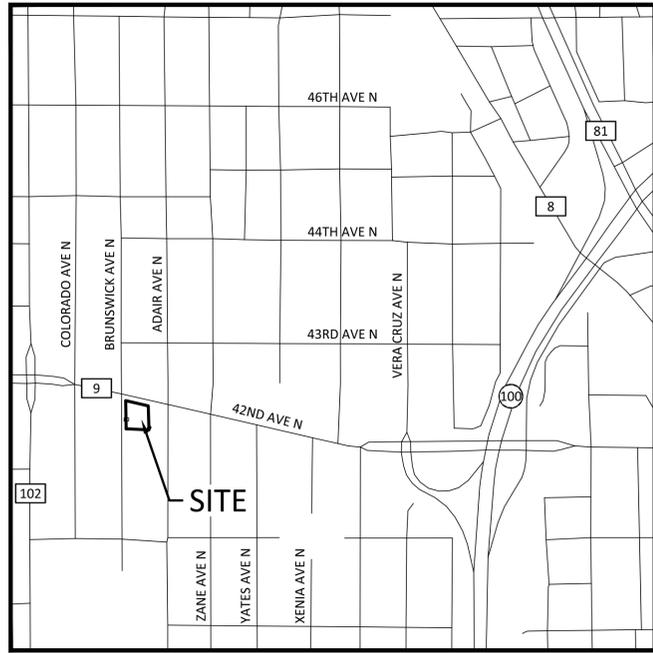
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EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"

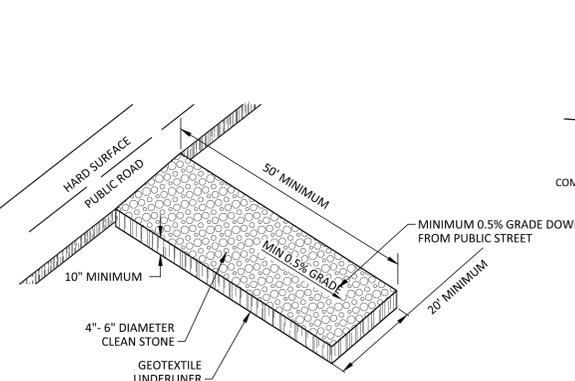


SITE LOCATION MAP

NOT TO SCALE

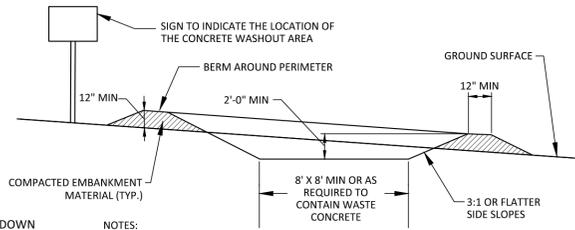
USGS MAP

NOT TO SCALE



TEMPORARY STONE CONSTRUCTION EXIT

N.T.S.



CONCRETE WASHOUT AREA

CONCRETE WASHOUT AREA

NOT TO SCALE

NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

AREA SUMMARY IN ACRES

PAVEMENT AREA	0.30 AC±
BUILDING AREA	0.11 AC±
SEEDED AREA	0.24 AC±
TOTAL DISTURBED	0.65 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.57 AC±
POST - CONSTRUCTION IMPERVIOUS	0.41 AC±

GENERAL EROSION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2018) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
15. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
16. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3 SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.
19. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
20. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
21. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.
22. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
23. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
24. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE NOTES:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
  2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
  3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
  4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
  5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
  6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
  7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

SEQUENCE OF CONSTRUCTION

- PHASE I:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  3. CONSTRUCT THE SILT FENCES ON THE SITE.
  4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
  5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
  6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
  7. CLEAR AND GRUB THE SITE.
  8. BEGIN GRADING THE SITE.
  9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE II:
1. TEMPORARILY SEED DENUDED AREAS.
  2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
  3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
  4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
  5. PREPARE SITE FOR PAVING.
  6. PAVE SITE.
  7. INSTALL INLET PROTECTION DEVICES.
  8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
  9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

SILT FENCE INLET PROTECTION (IP-1)

NOT TO SCALE

ROAD DRAIN INLET PROTECTION (IP-2)

NOT TO SCALE

DEVELOPER/OWNER: LINN INVESTMENT PROPERTIES, LLC 7616 CURELL BLVD, SUITE 245 WOODBURY, MN 55125 651-731-0515
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

**Sambatek**  
www.sambatek.com  
12800 Whitewater Drive, Suite 300  
Minnetonka, MN 55343  
763.476.6010 telephone

Engineering | Surveying | Planning | Environmental

Client  
**LINN INVESTMENT PROPERTIES, LLC**

Project  
**TUMBLE FRESH**

Location  
**CRYSTAL, MN**

6023 42ND AVE N

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Joshua E. Balz  
Registration No. 1279 Date: MM/DD/2019  
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

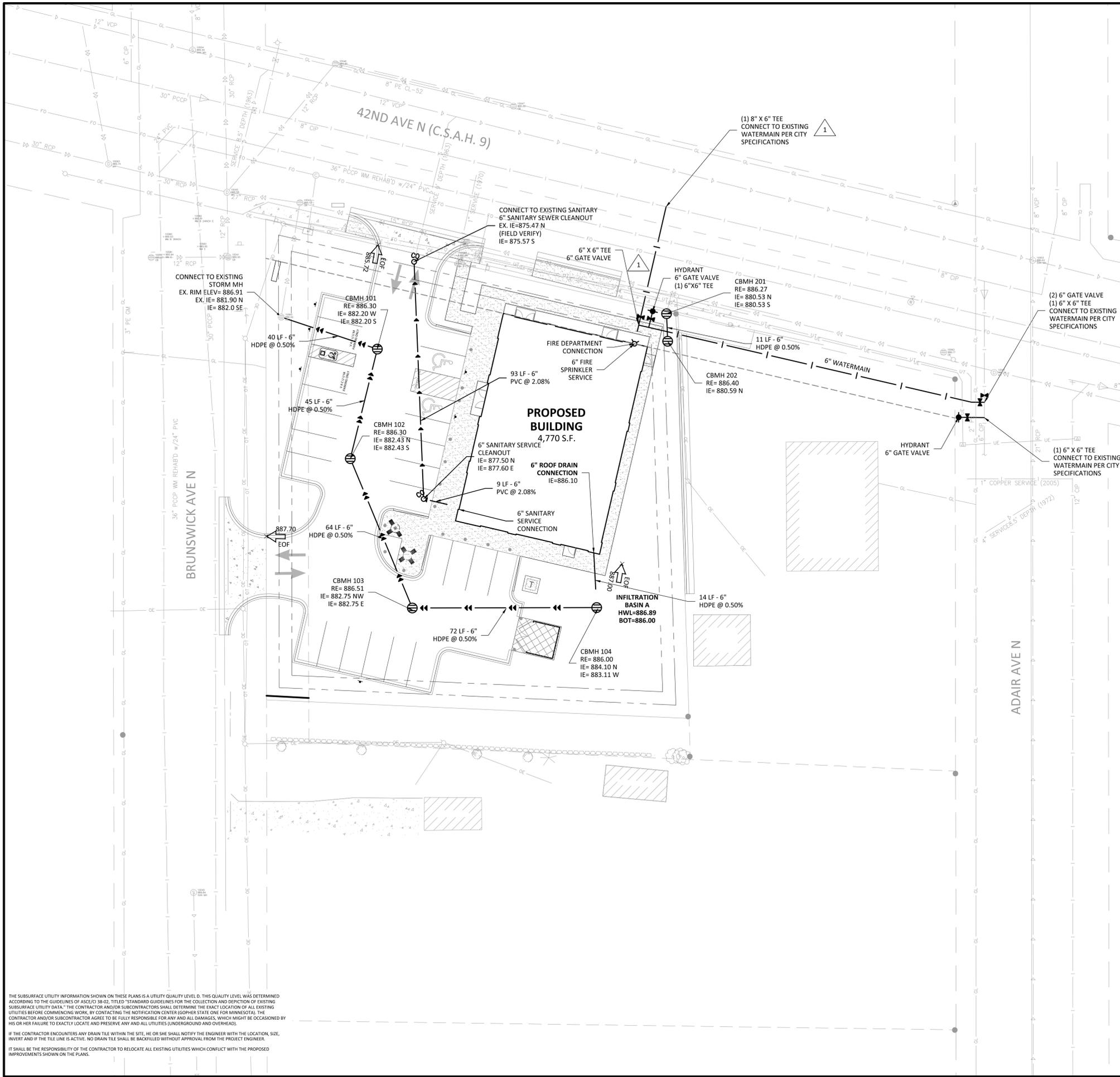
Designed: MJJ Drawn: MJJ  
Approved: JEB Book / Page:  
Phase: PRELIMINARY Initial Issue: MM/DD/2019

Revision History

No. Date By Submittal / Revision

Sheet Title  
**EROSION CONTROL NOTES & DETAILS**  
Sheet No. Revision  
**C5.03**

Project No. 21978



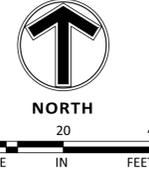
**LEGEND**

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
SANITARY SEWER		
FORCEMAIN (SAN.)		
WATERMAIN		
EASEMENT		
DRAINTILE		
GAS LINE		
ELECTRIC		
TELEPHONE		

**1** ALTERNATE #1 - FIRE PROTECTION AND DOMESTIC WATER SERVICE INSTALLATION. CONTRACTOR SHALL INCLUDE DEMOLITION AND RESTORATION OF ALL NECESSARY ITEMS AS INCIDENTAL TO THE WATERMAIN CONNECTION.

**UTILITY CONSTRUCTION NOTES**

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
    - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
    - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
      - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
  - ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
    - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
      - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
      - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, UNLESS NOTED OTHERWISE.
        - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
        - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
      - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.
        - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
      - RIP RAP SHALL BE Mn/DOT CLASS 3.
  - COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
  - ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
  - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND MUST BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
  - ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
  - ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:  
 COMPANY: TERRACON CONSULTANTS, INC.  
 ADDRESS: 13400 15TH AVE N. PLYMOUTH, MN 55441-4532  
 PHONE: 763-489-3100  
 DATED: NOVEMBER 26, 2019
- CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO SAMBATEK. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
  - CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.
  - (REMOVE IF THERE IS NO UNDERGROUND SYSTEM)  
 THE UNDERGROUND STORMWATER SYSTEM SHOWN ON THE UTILITY PLAN AND THE DETAIL SHEETS IS FOR INFORMATION PURPOSES ONLY AND DEPICTS THE MINIMUM STORAGE REQUIREMENTS AND THE SYSTEM ELEVATIONS. THE CONTRACTOR (WITH THEIR SUPPLIER OR DESIGNER) SHALL SUBMIT DESIGN DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE DESIGN DRAWINGS SHALL DEPICT THE FINAL LAYOUT AND DETAILS FOR CONSTRUCTION. THE DRAWINGS SHALL BE CERTIFIED BY A LICENSED ENGINEER FOR THE STATE IN WHICH THE PROJECT IS CONSTRUCTED. THE SUBMITTAL SHALL INCLUDE ALL NECESSARY PRODUCT INFORMATION, DESIGN CALCULATIONS AND BEDDING REQUIREMENTS FOR THE PROPOSED STORMWATER SYSTEM. FOLLOWING CONSTRUCTION, THE CERTIFYING ENGINEER SHALL SUBMIT A LETTER TO THE OWNER AND ENGINEER INDICATING THEY OBSERVED THE INSTALLATION AND THE INSTALLATION OF THE STORMWATER SYSTEM WAS IN CONFORMANCE WITH THE CERTIFIED DRAWINGS.



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMPER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

**Certification**

I hereby certify that this plan and specification report was prepared by a duly licensed professional engineer and that I am duly licensed as a Professional Engineer in the State of Minnesota.

**William E. Dettmer**  
 Registration No. 1232 Date: MM/DD/2019  
 This preliminary drawing is for informational purposes only and is not to be used for construction. It is subject to change without notice. The user of this drawing shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**Summary**  
 Designed: MJJ Drawn: MJJ  
 Approved: JEB Book / Page:  
 Phase: PRELIMINARY Initial Issue: MM/DD/2019

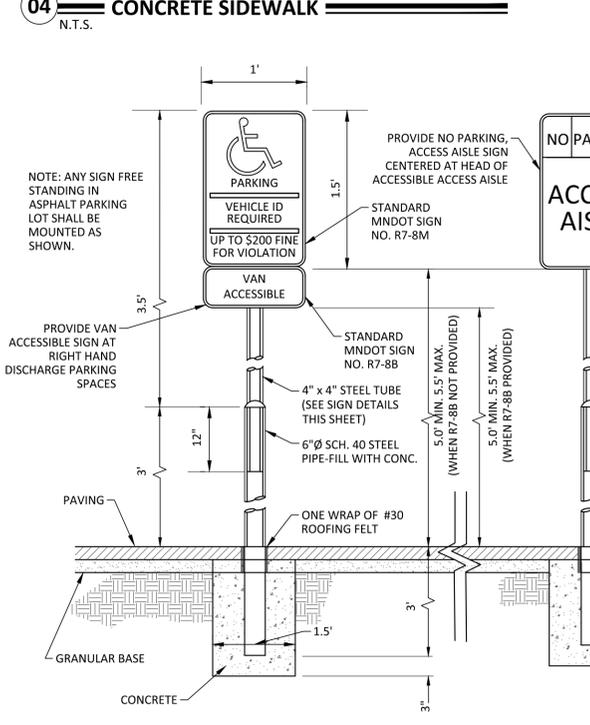
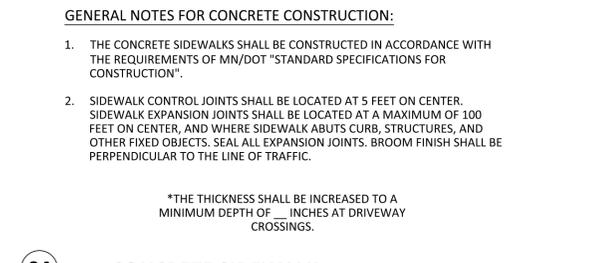
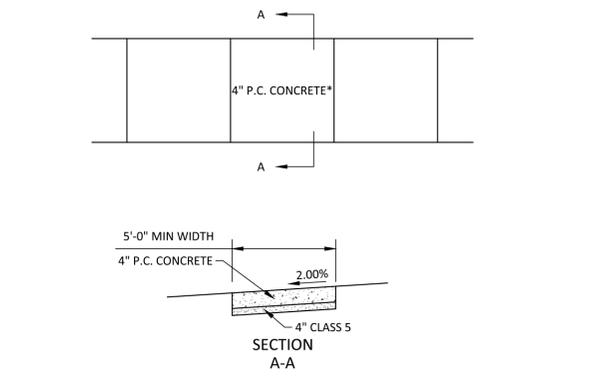
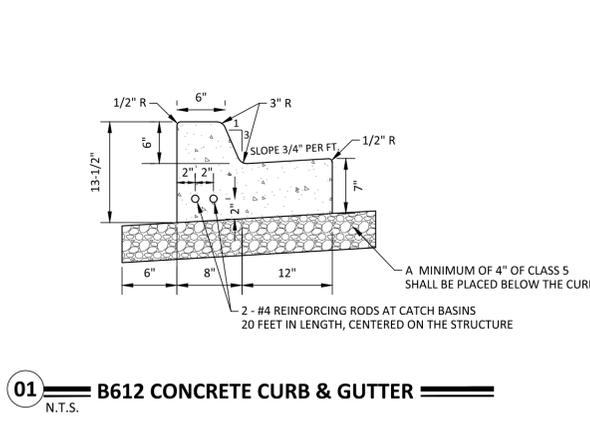
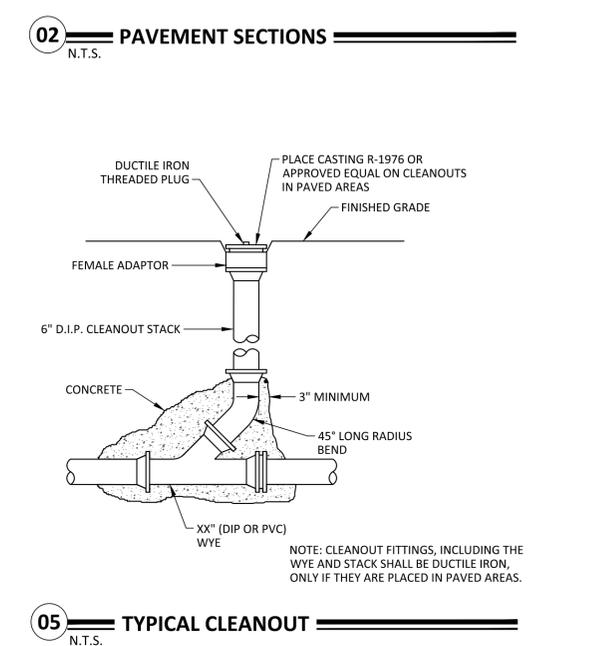
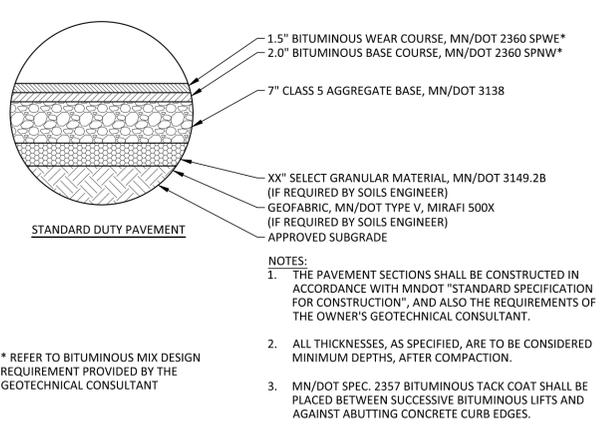
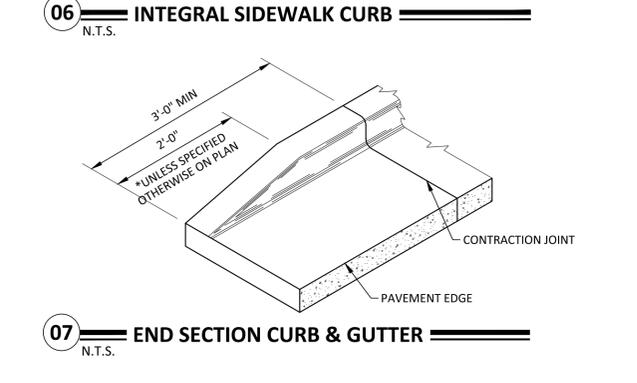
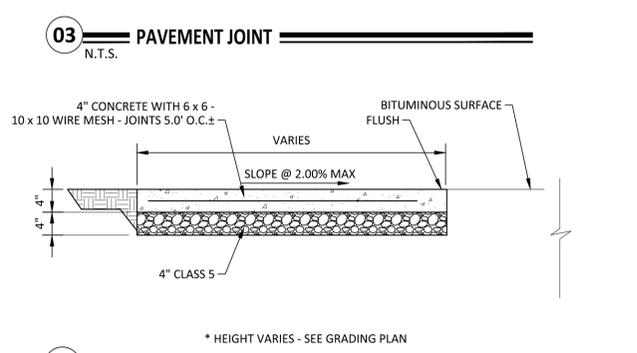
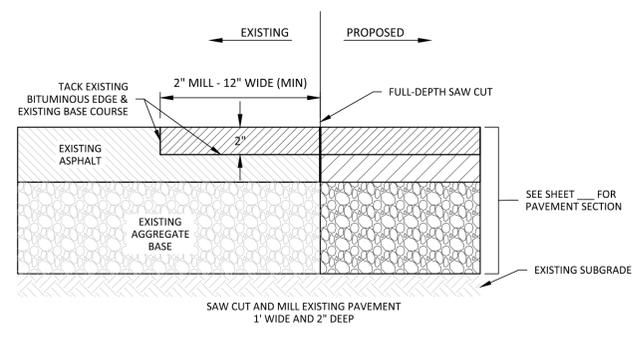
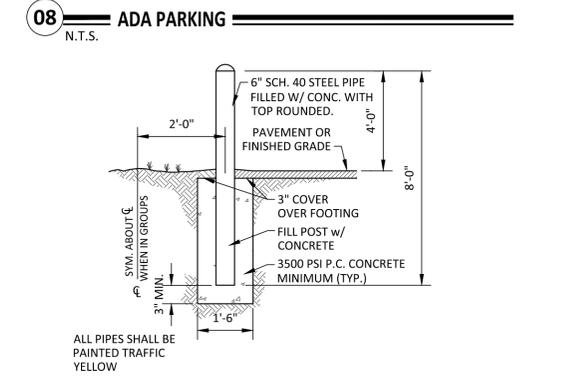
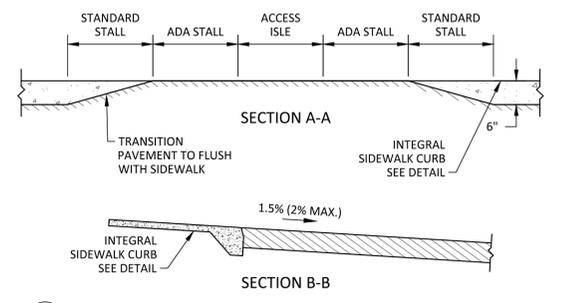
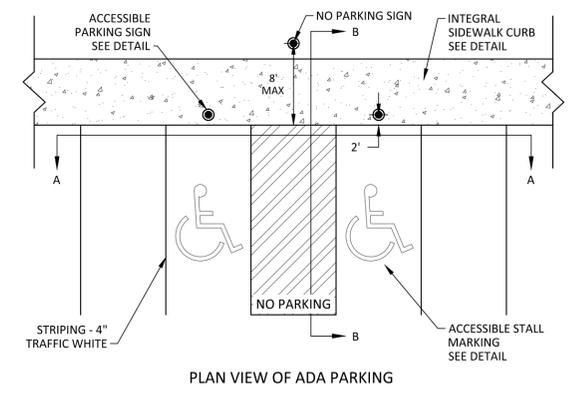
**Revision History**

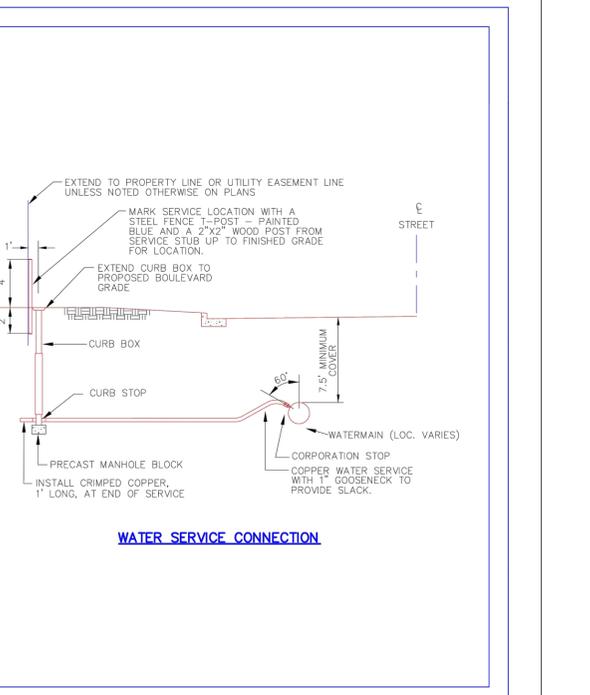
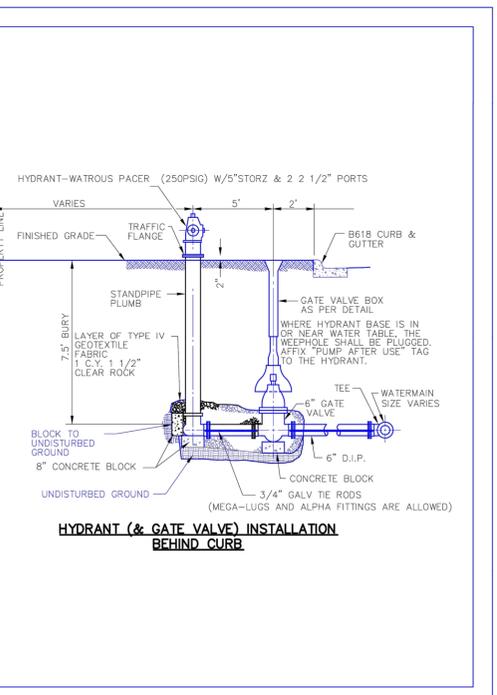
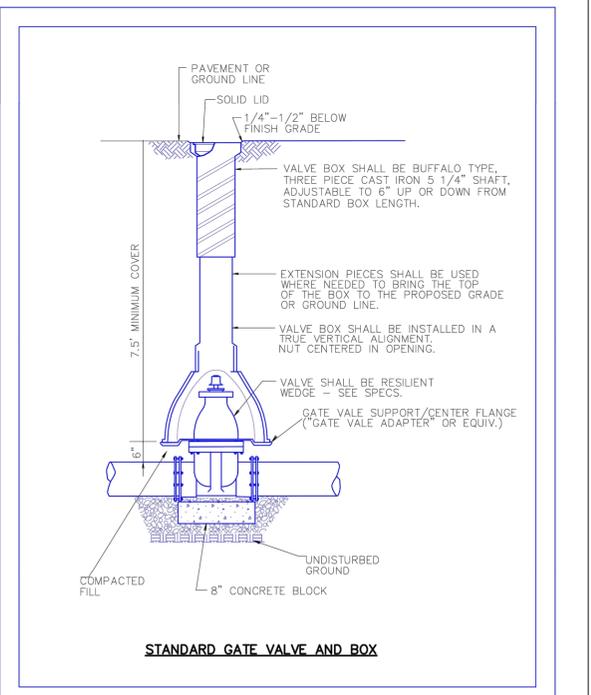
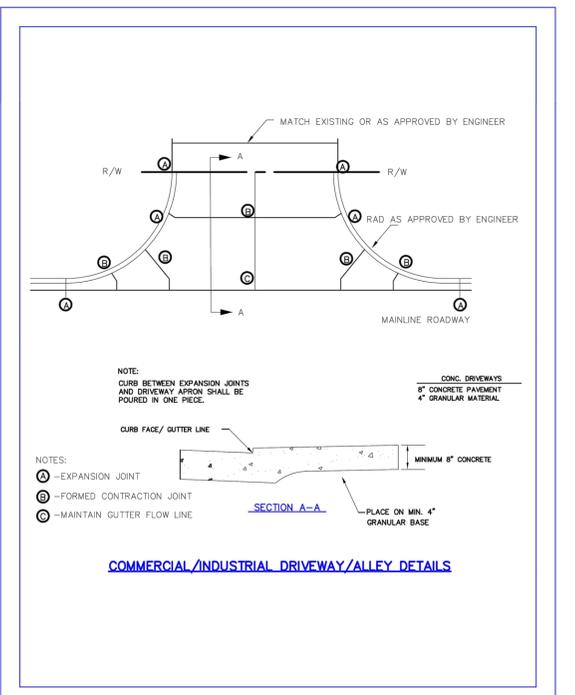
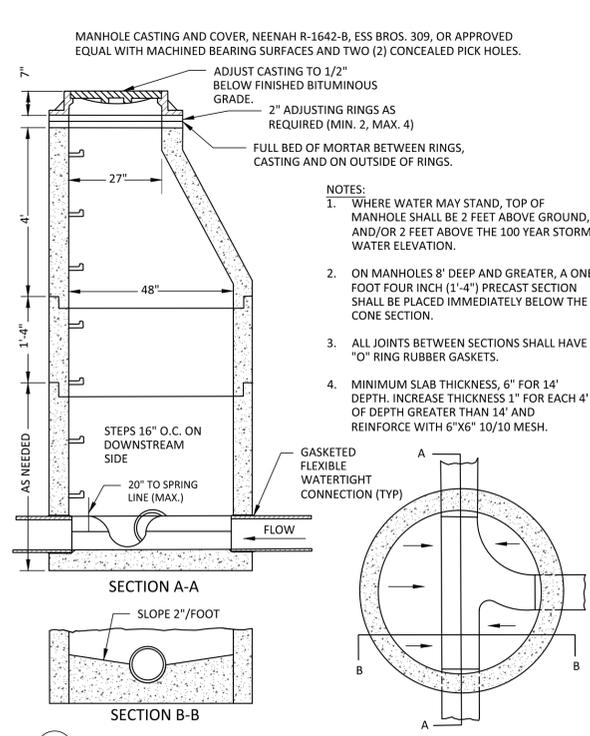
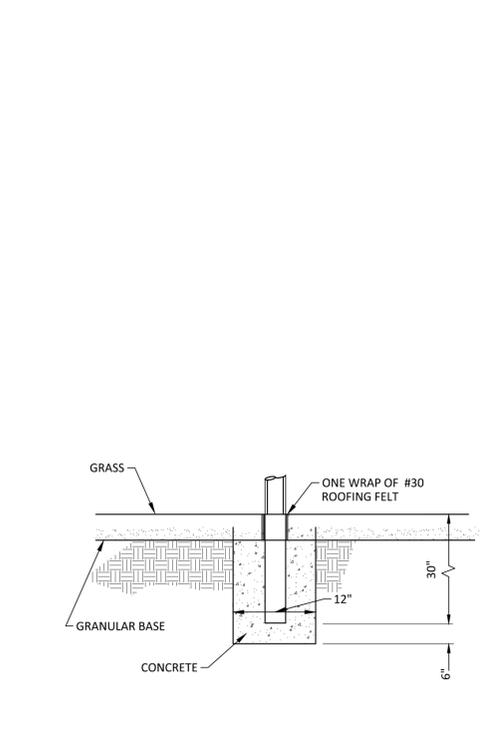
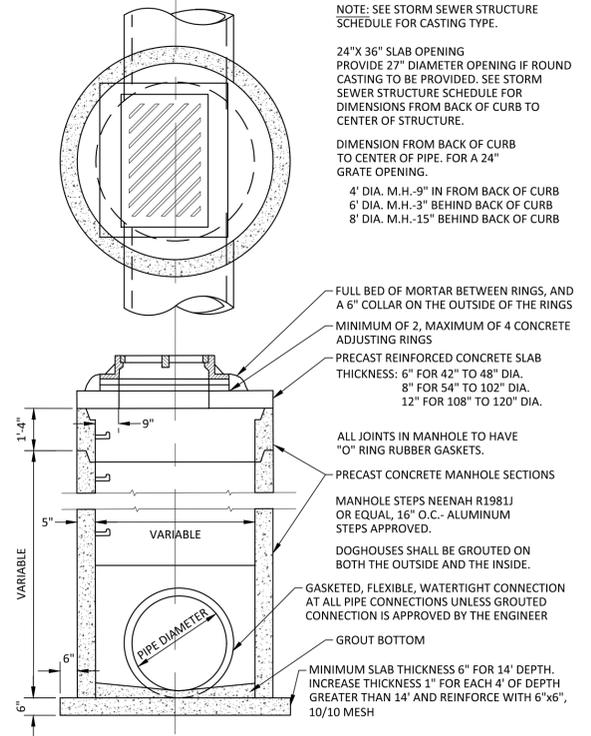
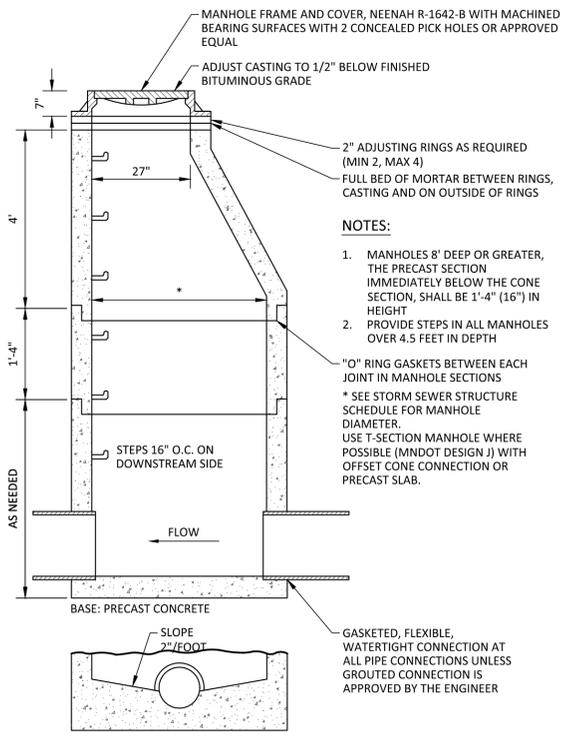
No. Date By Submittal / Revision

**Sheet Title**  
**UTILITY PLAN**

**Sheet No. Revision**  
**C6.01**

**Project No.** 21978



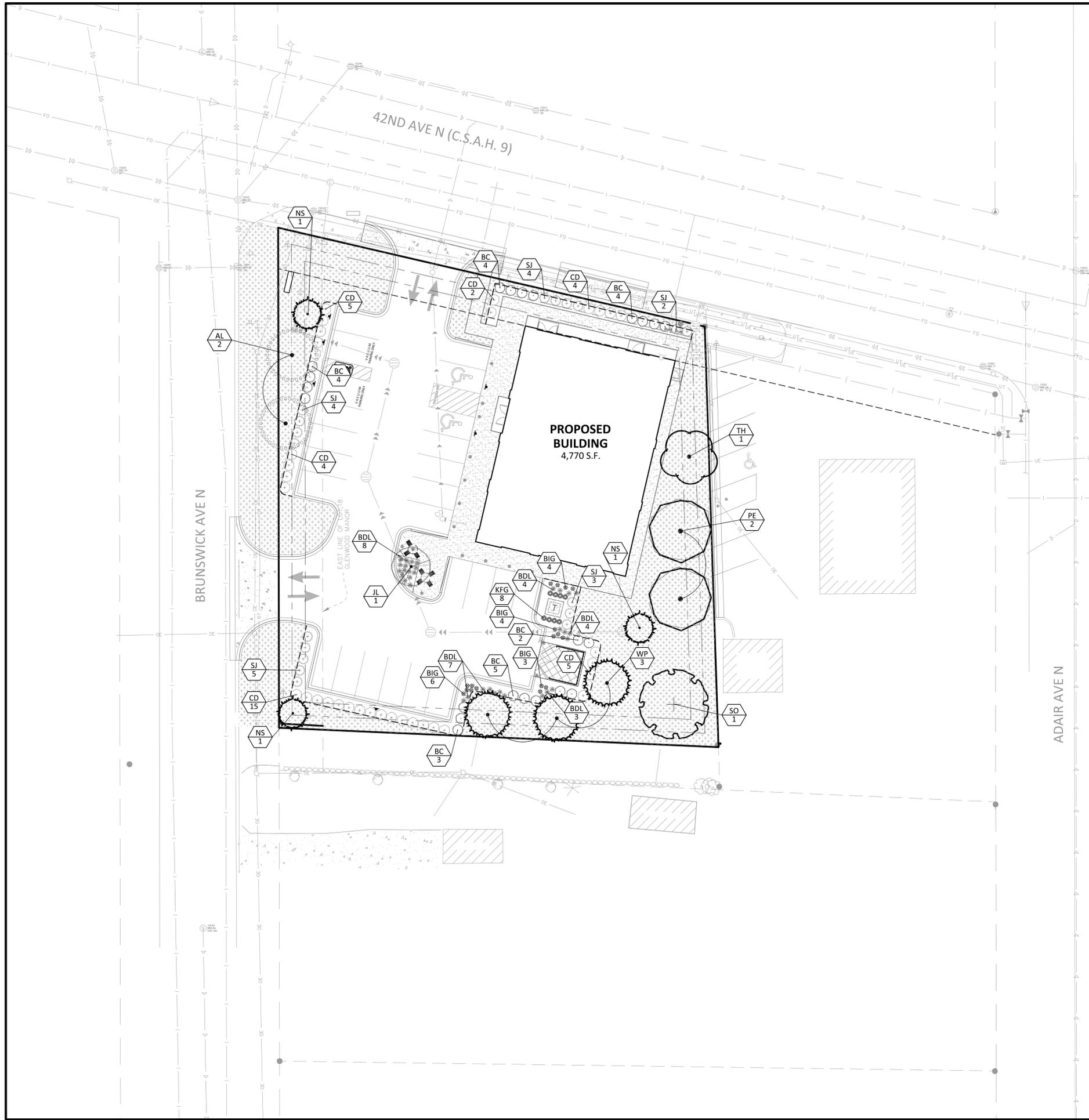


	CITY OF CRYSTAL 4141 DOUGLAS DRIVE CRYSTAL, MN 55422 ENGINEERING	<b>CITY OF CRYSTAL</b> <b>STANDARD DRAWING</b>	DRAWING# DRIVE-COMM	COMMERCIAL DRIVEWAY INSTALLATION
			DRAWN-MAY 21, 2018	
			REVISION DATE-	

	CITY OF CRYSTAL 4141 DOUGLAS DRIVE CRYSTAL, MN 55422 ENGINEERING	<b>CITY OF CRYSTAL</b> <b>STANDARD DRAWING</b>	DRAWING# GATE-VALVE	GATE VALVE INSTALLATION
			DRAWN-MAY 18, 2018	
			REVISION DATE-	

	CITY OF CRYSTAL 4141 DOUGLAS DRIVE CRYSTAL, MN 55422 ENGINEERING	<b>CITY OF CRYSTAL</b> <b>STANDARD DRAWING</b>	DRAWING# HYDRANT	HYDRANT AND GATE VALVE INSTALLATION
			DRAWN-MAY 18, 2018	
			REVISION DATE-	

	CITY OF CRYSTAL 4141 DOUGLAS DRIVE CRYSTAL, MN 55422 ENGINEERING	<b>CITY OF CRYSTAL</b> <b>STANDARD DRAWING</b>	DRAWING# WAT-SVC	WATER SERVICE INSTALLATION
			DRAWN-MAY 18, 2018	
			REVISION DATE-	



**LEGEND**

	PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	CONCRETE PAVING
EASEMENT	---	---	CONCRETE SIDEWALK
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
LANDSCAPE EDGING	---	---	
STORM SEWER	---	---	
SANITARY SEWER	---	---	
FORCEMAIN (SAN.)	---	---	
WATERMAIN	---	---	
YARDDRRAIN	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
RIPRAP	---	---	

**CRYSTAL LANDSCAPE CODE**

CALCULATIONS	REQUIRED	PROPOSED
ONE TREE PER 30 LF OF FRONTAGE	12	12
SHRUBS		146

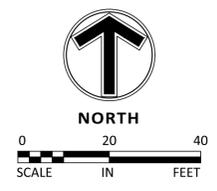
DECIDUOUS TREES 2" Cal.  
 ORNAMENTAL TREES 2" Cal.  
 ONE SHADE TREE FOR EVERY 30 LINEAR FEET  
 ONE OVERSTORY DECIDUOUS TREE FOR EVERY 30' OF LOT FRONTAGE  
 SHRUBS SHALL BE PLANTED ALONG BUILDING FOUNDATION THAT IS VISIBLE FROM THE PUBLIC STREET

TREES ON SITE 7-19      MAXIMUM % OF TREES THAT MAY BE SINGLE SPECIES 35%

**PLANT SCHEDULE**

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TH	TH	Gleditsia triacanthos inermis / Thornless Honeylocust	B & B			1
SO	SO	Quercus bicolor / Swamp White Oak	B & B	2.5" Cal		1
AL	AL	Tilia americana / American Linden	B & B			2
PE	PE	Ulmus americana 'Princeton' / American Elm	B & B	2.5" Cal		2
CONIFERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
NS	NS	Picea abies / Norway Spruce	B & B		6"	3
WP	WP	Pinus strobus / White Pine	B & B		6"	3
ORN. TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
JL	JL	Syringa reticulata / Japanese Tree Lilac	B & B	2" Cal		1
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT			QTY
BC	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal			22
CD	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal			35
SJ	SJ	Juniperus sabina 'Scandia' / Scandia Juniper	5 gal			18
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT			QTY
KFG	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal			8
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT			QTY
BIG	BIG	Geranium x cantabrigiense 'Biokovo' / Biokovo Cranesbill	1 gal			17
BDL	BDL	Hemerocallis x 'Baja' / Baja Daylily	1 gal			33
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT			QTY
TUR HIG	TUR HIG	Turf Sod Highland Sod / Sod	Sod			10,592 sf



**Client**  
**LINN**  
**INVESTMENT**  
**PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

**Certification**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney  
Registration No. 152 Date: MM/DD/2019

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

**Summary**

Designed: MJJ Drawn: MJJ  
Approved: JEB Book / Page:  
Phase: PRELIMINARY Initial Issue: MM/DD/2019

**Revision History**

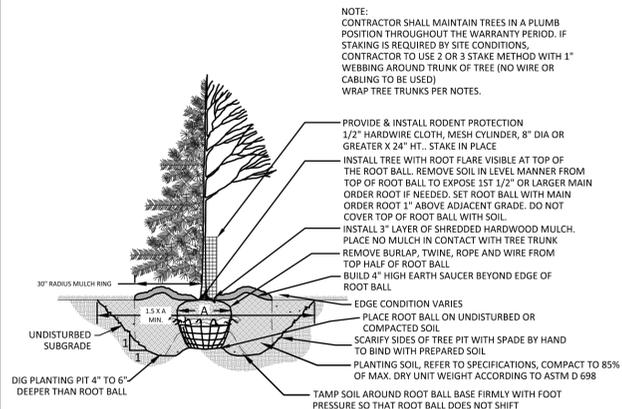
No. Date By Submittal / Revision

**Sheet Title**  
**LANDSCAPE**  
**DETAILS AND**  
**NOTES**

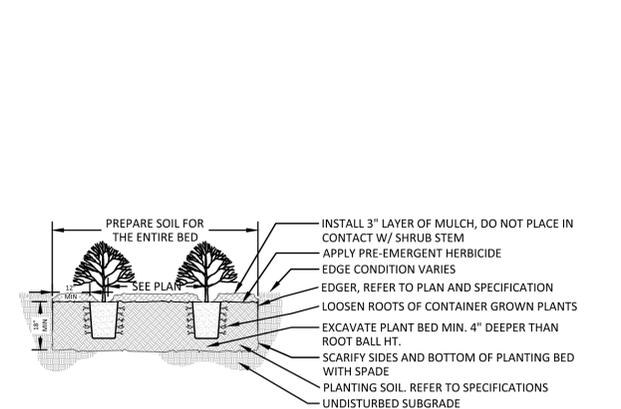
Sheet No. Revision

**L1.02**

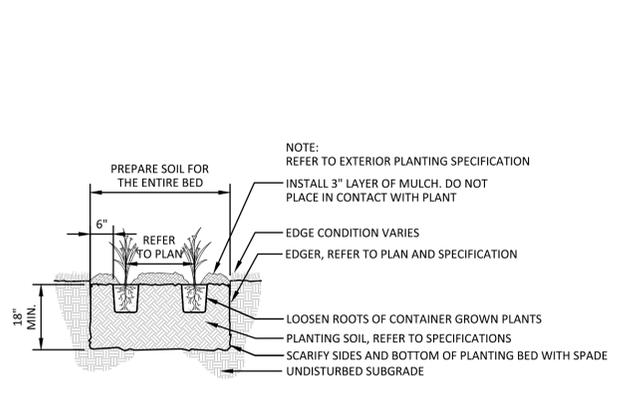
Project No. 21978



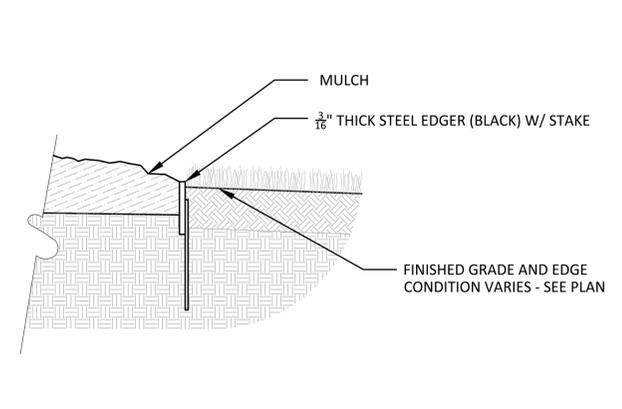
**1** TREE PLANTING DETAIL  
L1.02 1/4" = 1'-0" P-01



**2** SHRUB PLANTING DETAIL  
L1.02 3/8" = 1'-0" P-02



**3** PERENNIAL PLANTING DETAIL  
L1.02 1/2" = 1'-0" P-03



**4** STEEL EDGER  
L1.02 1 1/2" = 1'-0" P-04

**NOTES**

**GENERAL NOTES:**

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

**PLANTING NOTES:**

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILT-PRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571.31.2
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/RISK.
  - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
  - DECIDUOUS /B&B: 4/1 - 6/1; 9/21 - 11/1
  - EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1

- EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
- TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
- NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

**TURF NOTES:**

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
  - WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
  - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
  - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO.25-151 WILL BE PLACED AT THE RATE OF 120 POUNDS PER ACRE.
  - ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
  - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

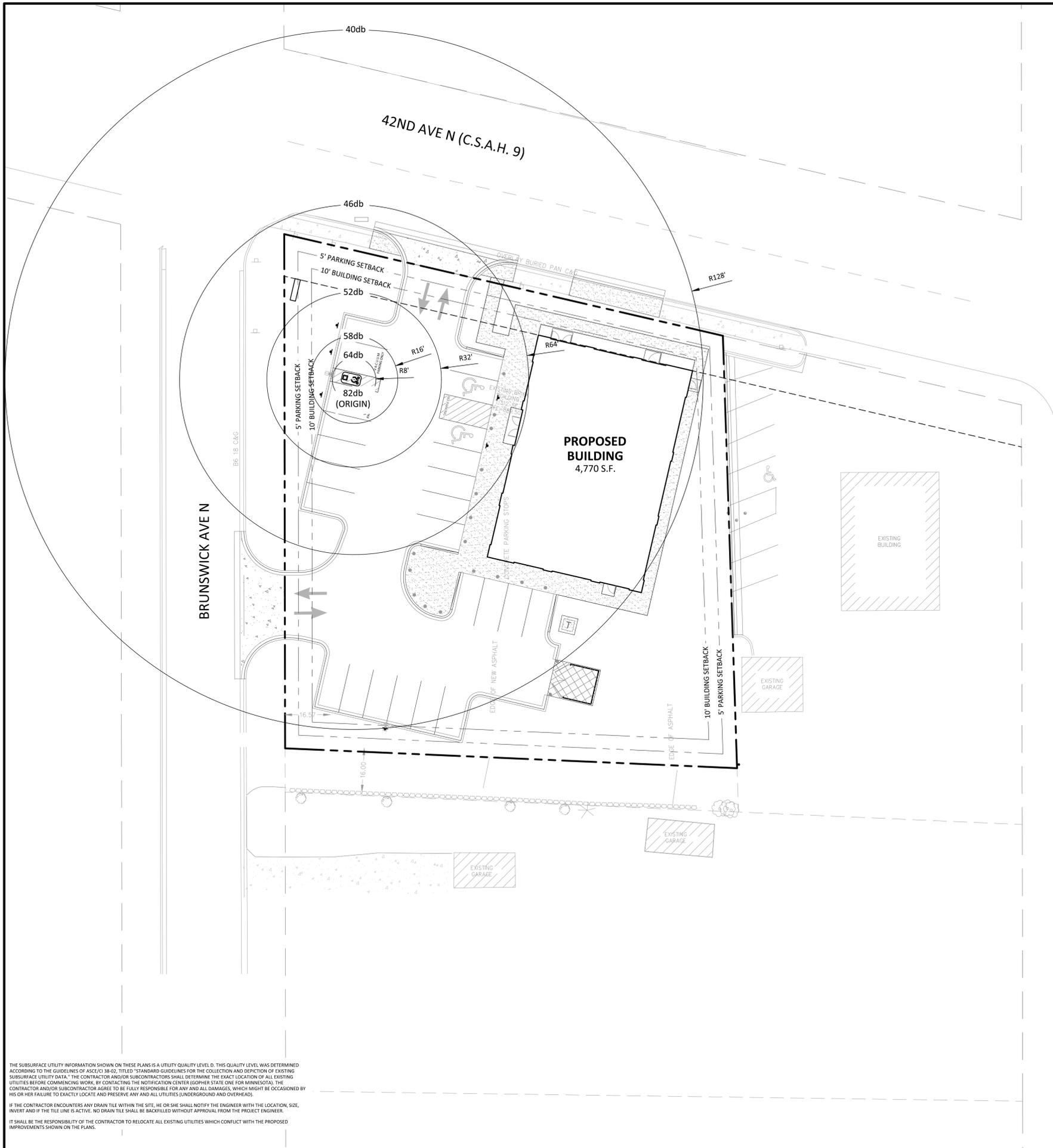
**GENERAL TREE SPECIFICATIONS:**

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
  - 2" CAL. TREES: LOWEST BRANCH 6' HT.
  - 3" CAL + TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
  - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.

- 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
- 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN.
- ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

**IRRIGATION NOTES:**

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.



MANUFACTURER INDICATES VACUUM EMITS 82db.

SOUND LEVEL DECREASES BY 6db EVERY TIME DISTANCE FROM SOURCE DOUBLES.

FOR COMPARISON, THE SOUND OF A CAR PASSING ON THE STREET IS GENERALLY 70db AT 50 FT FROM THE SOURCE.

\*\*IT IS OF NOTE THAT THESE ESTIMATES DO NOT TAKE PROPOSED SITE LANDSCAPING INTO CONSIDERATION. SITE LANDSCAPING SHOULD WORK TO FURTHER DIMINISH NOISE LEVELS TO THE ADJACENT PROPERTIES.

**Client**  
**LINN INVESTMENT PROPERTIES, LLC**

**Project**  
**TUMBLE FRESH**

**Location**  
**CRYSTAL, MN**

6023 42ND AVE N

**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Joshua E. Balz  
Registration No. 1279 Date: MM/DD/2019  
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

**Summary**

Designed: MJJ Drawn: MJJ  
Approved: JEB Book / Page:  
Phase: PRELIMINARY Initial Issue: MM/DD/2019

**Revision History**

No. Date By Submittal / Revision

**Sheet Title**  
**VACUUM NOISE EXHIBIT**

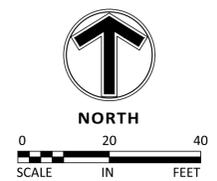
**Sheet No. Revision**  
**X1.01**

**Project No.** 21978

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMPH STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

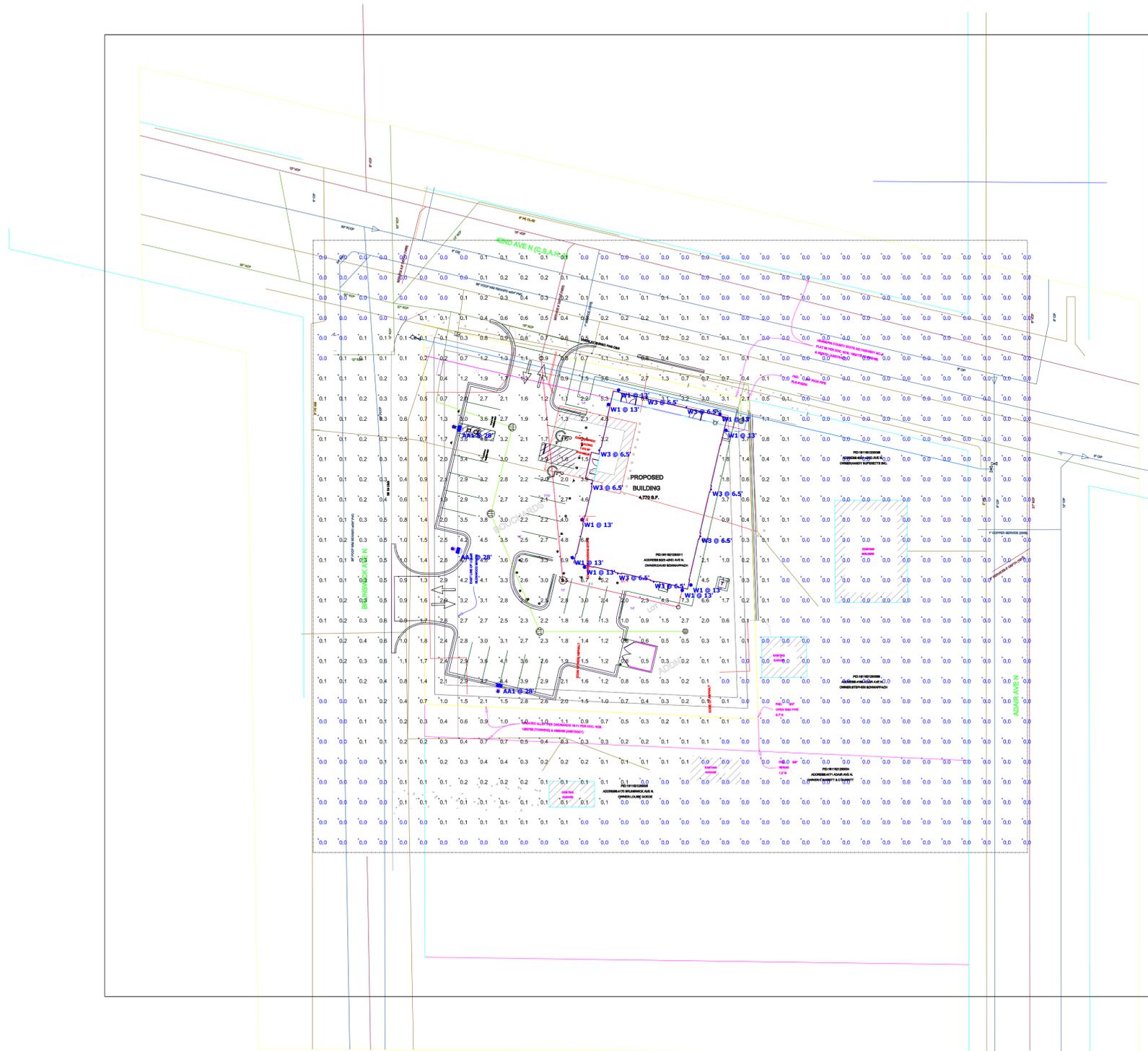
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



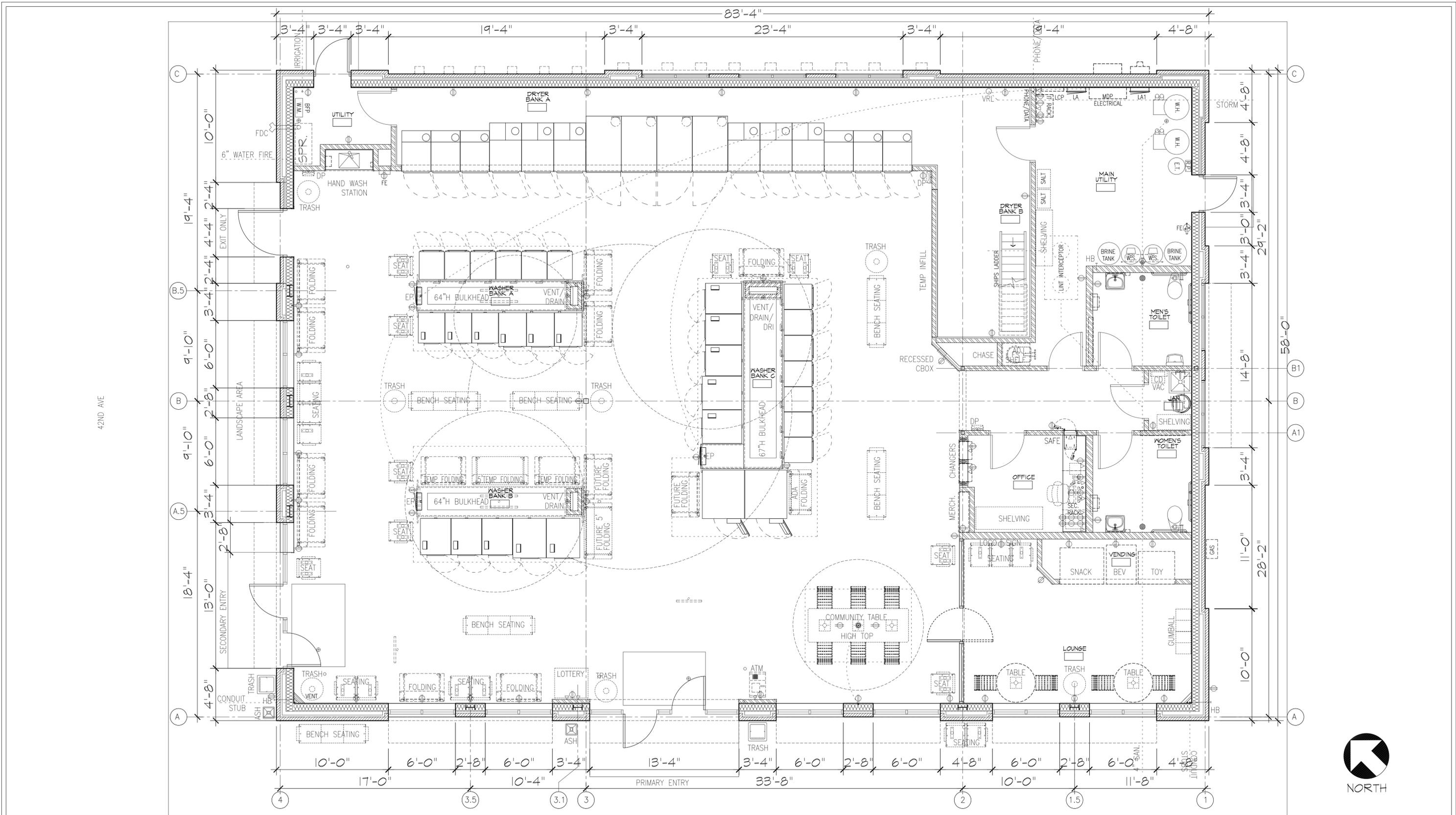
Schedule														
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency	Distribution	Notes
	AA1		3	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	1	16573	1	0.9	133.14	100%	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3	
	W1		9	ANP Lighting	MBVB16M024LDDW40K	16.0° ANGLE MINI BELLA VISTA 24W Cree LMH02B Module - 4000K CCT - Wide Distribution	1	3145	1	0.9	29.91	100%		
	W2		0	Lithonia Lighting	WST LED P3 40K VW HVOLT	WST LED, Performance package 3, 4000 K, visual comfort wide, HVOLT	1	6689	1	0.9	58	100%	TYPE II, VERY SHORT, BUG RATING: B1 - U0 - G1	
	W3		8	Lithonia Lighting	OVWP LED 40K 120 PE BZ	LED Wallpack - OPP Home Center	1	1266	1	0.9	14.1	100%	SEMI-DIRECT, SC=0=1.95, SC=90=1.25	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Total Area @ Grade	+	0.6 fc	8.4 fc	0.0 fc	N/A	N/A

- Note**
- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
  - All readings/calculations are shown @ grade.
  - Fixture heights are shown on plan.



Plan View  
Scale - 1" = 30ft



**ARCHITECTURAL CONSORTIUM L.L.C.**  
 901 North 3rd Street  
 Minneapolis, MN 55401  
 612-436-4030  
 Fax 612-692-9960

PREPARED FOR:  
  
 LINN INVESTMENT PROPERTIES LLC  
 9616 Currel Blvd, Ste 245  
 Woodbury, MN 55125  
 651.731.0515

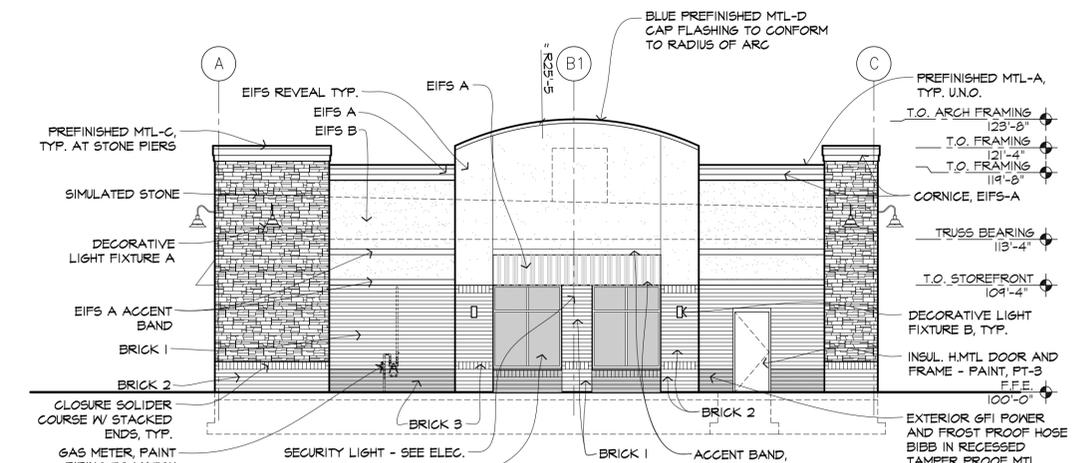
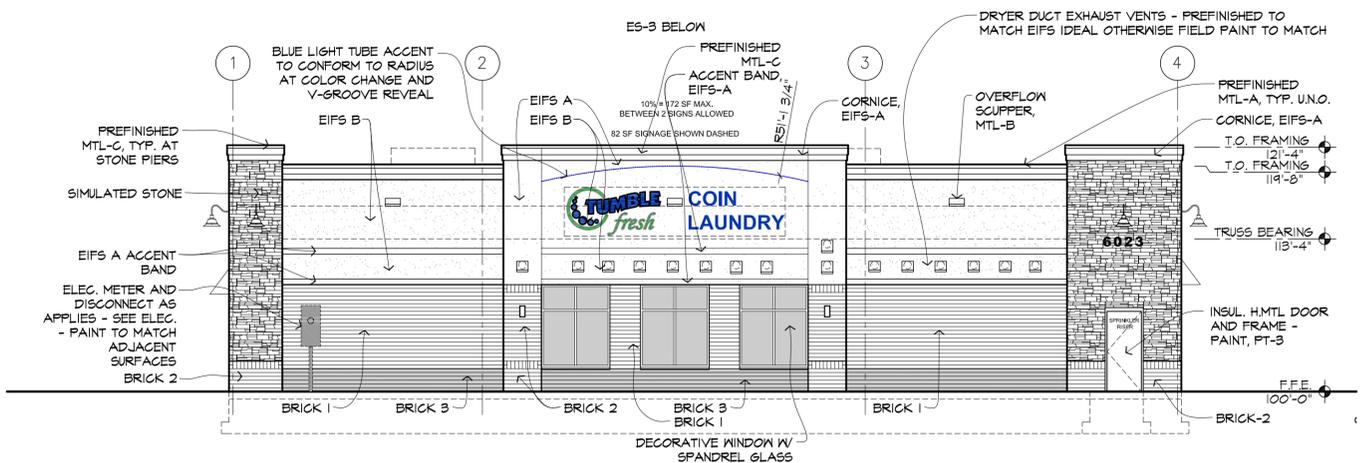
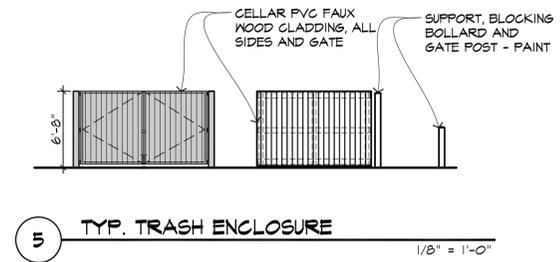
**TUMBLE FRESH COIN LAUNDRY**  
 6023 42ND AVE N  
 CRYSTAL, MN 55422

**PROPOSED FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" @ 22X34  
 1/16" = 1'-0" @ 11X17

PROJECT NUMBER:	19-1063-01
ISSUED DATE:	12/12/19
DRAWN BY:	ES
CHECKED BY:	KA

**A2.1**

NOTES AND EXTERIOR MATERIALS LEGEND		NOTES:	
BRICK-1 (MEDIUM) BELDEN NUTMEG-VELOUR A UTILITY	BRICK-1 (MEDIUM) INTERSTATE DESERT SAND MATTE UTILITY	SIMULATED STONE: BORAL CULTURED STONE BUCKS COUNTY COUNTRY LEDGESTONE W/ TIGHT FITTED MORTAR JOINTS - ALT. FOR 1/2" MORTAR JOINT	1. MORTAR @ STONE AND BRICK TO BE NATURAL GRAY.
BRICK-2 (LIGHT) BELDEN WHEATFIELD VELOUR A UTILITY AND CLOSURE	BRICK-2 (LIGHT) ENDICOTT COOPERTONE VELOUR UTILITY AND CLOSURE	ALUM. STOREFRONT: CLASS II DARK ANODIZED	2. SEPARATE PERMIT REQUIRED FOR SIGNAGE. COORD. W/ OWNER & SIGN COMPANY.
BRICK-3 (DARK BASE) BELDEN SEAL BROWN UTILITY AND CLOSURE	BRICK-3 (DARK BASE) BELDEN SEAL BROWN UTILITY AND CLOSURE	PREFINISHED MTL FLASHING A: FIRESTONE UNACLAD "ALMOUND"	3. EXT. H.M. DOORS & FRAMES TO BE PAINTED
EIFS-A: DRYVIT #4TBA "SAND"		PREFINISHED MTL FLASHING B: FIRESTONE UNACLAD "SIERRA TAN"	4. TRASH BOLLARDS & STEEL / BLOCKING AT INTERIOR OF TRASH ENCLOSURE TO BE PAINTED FT-3
EIFS-B: DRYVIT #112 "SANDLEWOOD BEIGE"		PREFINISHED MTL FLASHING C: FIRESTONE UNACLAD "DARK BRONZE"	5. ALL SEALANTS TO BE COLOR MATCHED TO ADJACENT MATERIALS. SUBMIT PROPOSED SCHEDULE AND MRF'S FULL RANGE OF COLORS TO ARCHITECT FOR REVIEW.
FT-1 (FIELD) TO MATCH BRICK-1		PREFINISHED MTL FLASHING D: FIRESTONE UNACLAD "ELECTRIC BLUE"	6. ALL HORIZONTAL EIFS SURFACES TO BE SLOPED FOR DRAINAGE.
FT-2 (DARK BASE) TO MATCH BRICK-2		FABRIC FININGS: SUNBELLA PACIFIC BLUE FANCY 4755-0000	7. PROVIDE BACKER ROD AND SEALANT AT ALL MATERIAL CHANGES.
FT-3 (FIELD) TO MATCH EIFS-B		AZEK DECKING AT TRASH: BRAZILIAN WALNUT - ARBOR COLLECTION	8. PAINT ANY EXPOSED STL AT OPENINGS TO MATCH ADJACENT MATERIAL
			9. FINISH MASONRY SHOULD EXTEND AT LEAST 6" MIN. BELOW F.F.E.
			10. TENANT SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT AS REQ'D BY CITY AND IN CONFORMANCE WITH THE COMPREHENSIVE SIGN PLAN.
			11. ALL OPENINGS, FLASHING, COUNTER FLASHING, AND EXPANSION JOINTS SHALL BE WATER TIGHT.
			12. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, CASKED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AND WATER / MOISTURE INFILTRATION.
			13. CONTROL JOINTS (CJ) SHALL UTILIZE COLOR MATCHED HIGH MOVEMENT SEALANT AND BACKERRODS AT EXPOSED FACED. ADDITIONAL JOINT TREATMENT REQUIRED AT EXTERIOR SHEATHING AND INTERIOR. JOINTS MUST ALLOW FOR VERTICAL MOVEMENT.
			14. APPLY COMPATABLE SEALER OVER SIMULATED STONE AND MORTAR ONCE FULLY INSTALLED, CURED AND CLEANED PER MFR'S RECOMMENDATIONS.
			15.



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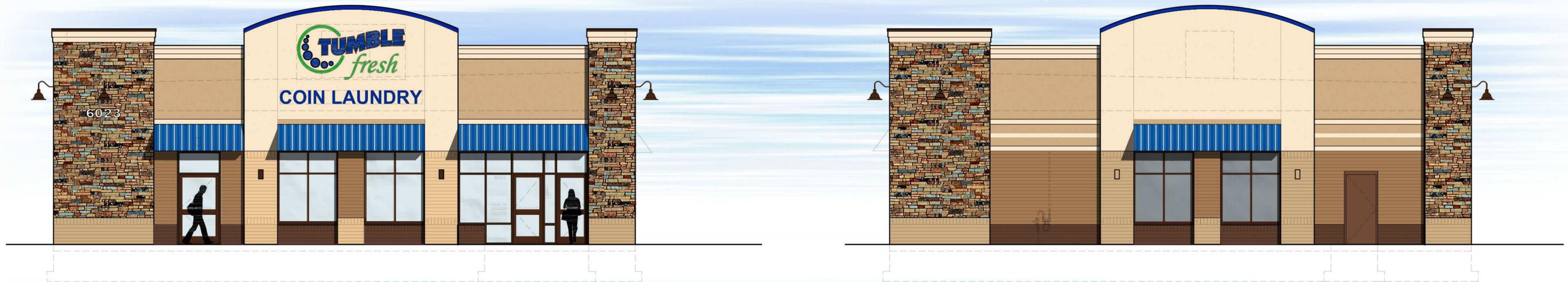
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**EXTERIOR ELEVATIONS**  
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WEST EXTERIOR ELEVATION (FACING BRUNSWICK)



NORTH EXTERIOR ELEVATION (FACING 42ND AVE N)

SOUTH EXTERIOR ELEVATION



EAST EXTERIOR ELEVATION

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**TUMBLE FRESH COIN LAUNDRY**  
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**EXTERIOR RENDERING**  
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**A3.2**