



2019 Development Review Application

City staff contact: Dan Olson
763-531-1142
dan.olson@crystalmn.gov
4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

1. Property Address for this application:

3501 DOUGLAS DRIVE

2. Property Identification Number (PID):

2011821110003-08

3. Applicant:

Name: JEREMY LARSON - HAMPTON COMPANIES			
Street: 1824 BUERKLE ROAD	City: WHITE BEAR LAKE	State: MN	Zip: 55110
Telephone: 651-253-8924			
Email: JEREMY@HAMPTONCO.COM			

4. Property Owner:

- Same as the Applicant (if so, you don't need to complete this section)
 Different from the Applicant (complete this section)

Name: FTKD Properties, Inc.			
Street: 6000 Bass Lake Rd #200	City: Crystal	State: MN	Zip: 55429
Telephone: 612-414-5055			
Email: FTKDenny@gmail.com			

5. Project name and description:

SUITE LIVING CRYSTAL - THIS PROJECT WILL BE A 32-UNIT SENIOR LIVING AND MEMORY CARE FACILITY. THE BUILDING WILL BE 1-STORY AND WILL HAVE APPROXIMATELY 26 SURFACE PARKING STALLS. GRADING AND LANDSCAPE IMPROVEMENTS WILL OCCUR AS A PART OF THE PROJECT.

6. Project contact (the applicant shall designate one contact person for the application):

Name: JEREMY LARSON	Role In Project: OWNER/DEVELOPER
Company: HAMPTON COMPANIES & SUITE LIVING	
Street: 1824 BUERKLE ROAD	City: WHITE BEAR LAKE State: MN Zip: 55110
Business Telephone: 651-253-8924	
Email: JEREMY@HAMPTONCO.COM	

7. Additional design/engineering professional (if applicable):

Name: JOEY DIEDERICHS	Role In Project: CIVIL ENGINEER
Company: CIVIL SITE GROUP	
Street: 4931 W. 35th STREET, #200	City: ST. LOUIS PARK State: MN Zip: 55416
Business Telephone: 612-719-1781	
Email: JDIEDERICHS@CIVILSITEGROUP.COM	

8. Application type: A complete development review application includes the following:

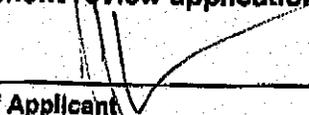
- Completed and signed development review application form
- Completed and signed escrow form (if applicable - see list of application types below)
- Completed application checklist for each respective type of application (see list below)
- Payment of application fee for each respective type of application (see list below)

Type of application (check all that apply):	Application fee (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$205 + \$205 escrow
<input type="checkbox"/> Administrative Appeal	\$205
<input type="checkbox"/> Comprehensive Plan Amendment	\$615 + \$615 escrow
<input type="checkbox"/> Conditional Use Permit	\$615 + \$615 escrow [2]
<input type="checkbox"/> Lot consolidation	\$410 + \$410 escrow
<input checked="" type="checkbox"/> Rezoning to Planned Development	\$1,230 + \$1,230 escrow
<input type="checkbox"/> Site Plan	\$615 + \$307.50 escrow
<input type="checkbox"/> Subdivision	\$615 + \$62 per lot over 2, + \$615 escrow
<input type="checkbox"/> Vacation of a public street or easement	\$515 + \$515 escrow
<input type="checkbox"/> Variance	\$515 + \$257.50 escrow
<input type="checkbox"/> Zoning Certificate	\$100 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$615 + \$615 escrow
Total fee: \$ 1,230	

[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the review of documents associated with the application. For telecommunication towers, the escrow fee will also be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.
 [2]: The fee for a telecommunication tower is \$2,000, plus a \$10,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

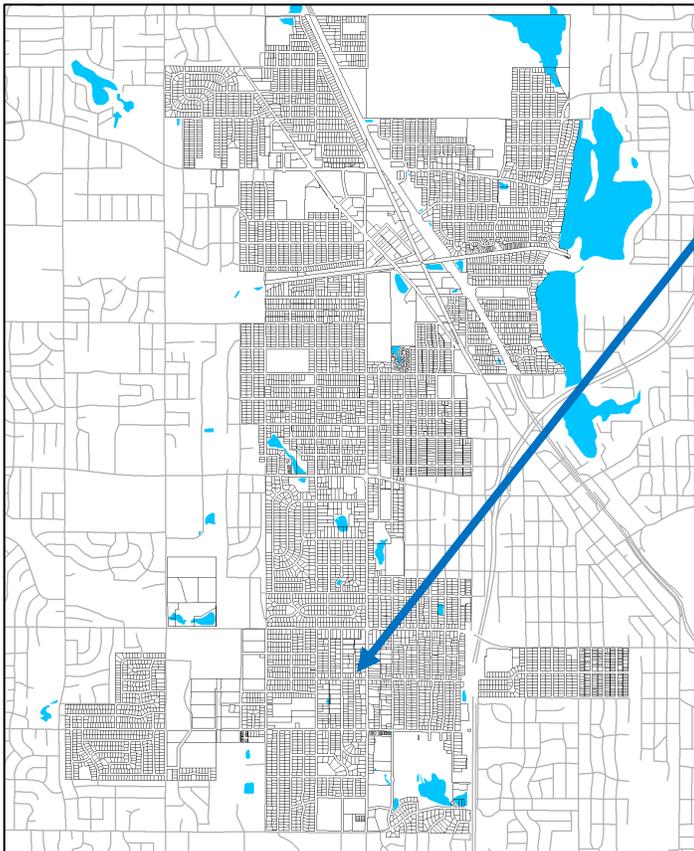
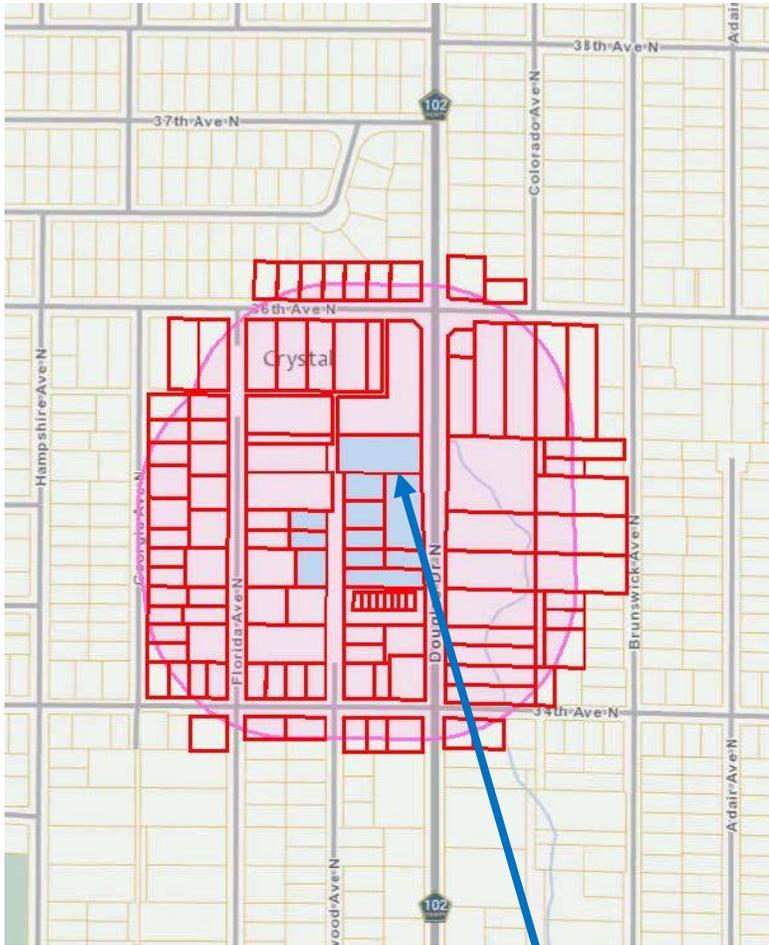
I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.

Signature of Applicant:  Date: 11-20-19

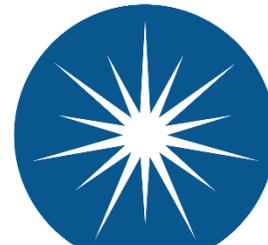
Signature of Property Owner (if different from Applicant): Prop-PTED Prop's Date: 11.20.19

FOR OFFICE USE ONLY: Application # 2020-02 Accounting # 0100.4418 Receipt # 160701 Date Received 12-17-2019
 Acknowledgement letter sent / / If application incomplete, was 60-day rule language included?
 Plan Comm hearing / / City Council action / / Approved? Yes No Other
 NOTES:

Site Location and Neighborhood Notice Mailing Map



3501 Douglas Dr. N



CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

CITY OF CRYSTAL

REZONING TO PLANNED DEVELOPMENT 3501 DOUGLAS DRIVE NORTH

PUBLIC HEARING NOTICE 7:00 P.M. ON MONDAY, JANUARY 13, 2020 CRYSTAL CITY HALL (4141 DOUGLAS DR N)

The Crystal Planning Commission will consider a Rezoning to Planned Development application from Hampton Companies to construct a 21,000 square foot specialized care facility at 3501 Douglas Drive North. The following is a general summary of the proposal:

- Hampton Companies is proposing to purchase 3501 Douglas Drive North and five adjacent parcels from FTKD Properties and consolidate them into one lot. The existing office building (3501 Douglas) and rental home (3505 Douglas) are proposed to be demolished.
- Hampton has applied for Planned Development rezoning to construct a 21,000 square foot specialized care facility. The main components of the proposed building are:
 - One story senior living facility providing 12 units of memory care and 20 units of assisted living for a total of 32 units
 - In addition to the living units, the building would also have dining areas, laundry, employee lounge and three administrative offices
 - The existing parking lot would be removed and a new parking lot constructed to provide the required parking for the proposed building
 - New landscaping and stormwater treatment would also be installed.

The Planning Commission will hold a public hearing on the rezoning application at 7:00 p.m. on January 13, 2020 in the Council Chambers at Crystal City Hall.

To view the application including a detailed site plan:

- ▶ Visit Crystal City Hall during normal business hours, or
- ▶ Visit the 2020 Land Use Applications page on the city website, www.crystalmn.gov (the staff report to the Planning Commission will be available by January 10th on the same page of the website).

To speak directly to the Planning Commission on the proposal, please attend the public hearing on Monday, January 13, 2020 at 7 p.m. at Crystal City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on January 13, 2020 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a rezoning to Planned Development application to allow Hampton Companies to construct a specialized care facility at 3501 Douglas Drive North. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, January 21, 2020 at Crystal City Hall, 4141 Douglas Drive North. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids for handicap persons are available upon request at least 96 hours in advance. Please call the City Clerk at 763-531-1145 to make arrangements. Deaf and Hard of Hearing callers should contact the Minnesota Relay Service at 800-627-3529 V/TTY or call 711 to be connected to a TTY.

Hampton Senior Care of Crystal, LLC
Suite Living Senior Care of Crystal, LLC
1824 Buerkle Road
White Bear Lake, MN 55110

STATEMENT OF PROPOSAL:

City of Crystal
December 13, 2019

PROJECT NAME:

Suite Living Senior Care of Crystal

PROPERTY ADDRESS:

3501 Douglas Drive, Crystal, MN 55422

APPLICANT:

Hampton Senior Care of Crystal, LLC
1824 Buerkle Road
White Bear Lake, MN 55110
Jeremy Larson: 651-253-8924
Jeremy@hamptoncos.com

DESCRIPTION OF PROPOSED DEVELOPMENT:

Hampton Senior Care of Crystal and Suite Living is proposing to develop a memory care and assisted living community to serve the care needs of the elderly citizens of Crystal and those with elderly family members in need of memory care and assisted living services. Suite Living Senior Care of Crystal community will feature a total of 32 private suites with 20 of them providing assisted living services and the other 12 providing memory care services. The assisted living residents will be able to enjoy a home-like atmosphere in a setting that allows them the freedom to participate in many amenities that not only help assist them in their daily care needs but also provide them with a higher quality of life than that offered in a more institutional setting. The memory care residents are provided with their own secured area of the building that has its own separate amenities like a congregate dining room, sunroom, activity/craft area and a secure outdoor porch. These residents benefit from a life enrichment program that is specially designed for residents with Alzheimer's and Dementia. At Suite Living Senior Care of Crystal our goal is to provide our residents with the right care at the right time.

Building Description: Total Land Size: 1.94 Acres-Approx.
Building Size: 20,744 Sq. Ft.
Occupancy: 32 Private Suites
Floor 1: 20 Assisted Living Units / 12 Memory Care Units

Parking and Access: Hard Surface Parking (26 stalls, 1 designated handicapped will be designed with dimensions and area in accordance with state law) will provide parking for resident friends and family members along with Suite Living Senior Care staff. Since none of our residents drive there will not be a significant need for parking.

Analysis currently and forward

The difference between transient building occupants i.e.: those driving and with cars and fixed immobile occupants i.e.: residents

32 residents at any one time (immobile)

3 to 5 employees

1 to 3 visitors for a total of 4 to 8 transient occupants

There will be a circular drive through turn around with a covered walkway to the entrance of the building which has a small portico which extends from the vestibule entry over the walkway and partially into the circular driveway. The portico will allow for enough clearance to allow for emergency vehicles to pass and thus be able to enter and exit the site freely.

Illumination: Lighting from the installation of outdoor flood or spot lighting and illuminated signs shall be of an intensity that is reasonable for the purpose served and will be appropriately shielded minimizing the effects on the use and enjoyment of adjoining properties.

Architectural Design: The building will combine stone, residential exterior materials, columns, roofline gables, extending porches and entrances to the building. The overall look is themed after a residential building providing a feeling of warmth and comfort for the residents.

STATE CLASSIFICATION/LICENSURE:

Suite Living Senior Care of Crystal will be classified as a Housing With Services Establishment with the MN Department of Health providing care and services via Suite Living's Comprehensive Home Care License, also through the MN Department of Health.

STATE REQUIRED INSPECTIONS:

The State will require a survey 6 months after the opening of Suite Care Senior Living of Crystal and then every two years after that.

Suite Living does an annual renewal of our Housing With Services Certificates and annual renewal of our Comprehensive Home Care Licenses.

Yearly inspections of kitchen equipment, sprinklers, fire alarms, fire extinguishers are conducted.

CONCLUSION:

Thank you for your time to review our proposal. Suite Living Senior Care of Crystal will provide great economic benefits to the city and community with 32 assisted living and memory care suites, 25 plus full and part time jobs with annual payroll of \$750,000 and a significant contribution to the tax rolls for this property and provide services to the residents of the City and surrounding area. The opportunity for the city to provide senior care options in a very demanding market well into the future is a compelling reason to approve this application.

The project is designed and intended to accommodate the needs of development for benefit to the community, as Suite Living's high level of care, access to hospice and respite will bring.

Great care has been taken to make the building attractive both as a city and neighborhood friendly addition, utilizing high quality finishes like LP smart siding, colored hard shingle in the staggered edge notched panels, smoked glass in the fake dormers, cultured stone accents and wainscoting, an extensive landscape plan with special attention to maintaining the existing buffer between the neighbors and the building.

The project will be designed exceeding the "required" landscaping and other basic requirements of code to upgrade the appearance of the building. The project will manage to maintain the required setbacks from the building to lot line front and back. Landscaping is for decorative purposes and can be moved when and if needed but provides a buffer and ornamental screening.

As we work thru the grading plan, special attention will be paid to the drainage and excavation plan to assure that the drainage of this site does not disturb the neighborhood.

By approving this project, the city is gaining an attractive, tax paying member to the community in an otherwise idle property. The building is a secure building, noise is not an issue, and the neighbors should appreciate a relatively peaceful co-existence with the new project. The project will bring many benefits to the community of Crystal.

Such benefits will include:

- Local Chamber of Commerce Membership
- Meeting room space including use for business, choir practice, piano recitals, girl/boy scouts, book clubs, churches etc.
- Be of host to community events
- Offer wellness clinics
- Charity drop off site for food and clothing
- Partnerships with local daycare centers
- Internship options for nursing students
- Volunteer opportunities
- Promote local businesses

We look forward to continuing to work with the City of Crystal during the review and approval process for this application. Please contact me with any questions you have on any item as I would be more than happy to discuss it in further detail.

Sincerely,

Jeremy Larson
Executive Vice President
Hampton Senior Care of Crystal

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGN: _____

REL. NO. _____ DATE: _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: **RUSSELL R. ROSA**

SIGN: _____

REL. NO. **182033** DATE: _____

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT #: **21931**

DATE: **DEC. 12, 2019**

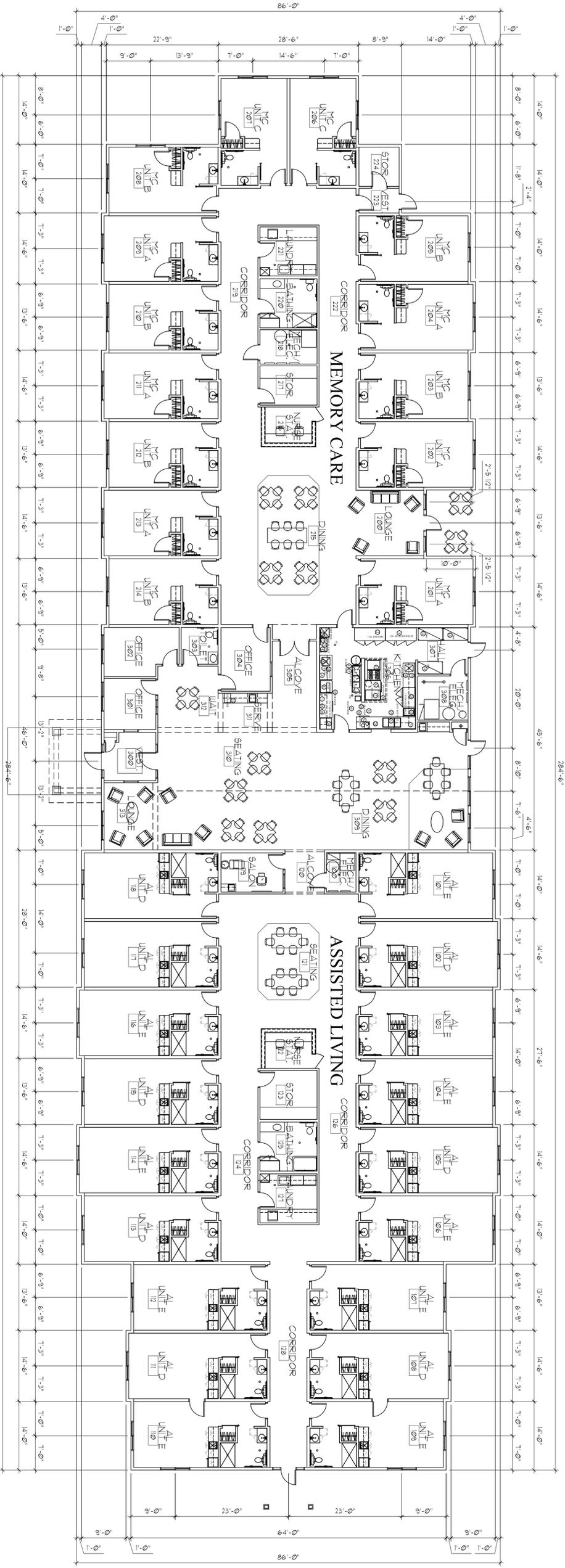
DRAWN BY: **JL**

CHECKED BY: **RR**

OVERALL
FLOOR PLAN

SHEET

A1.1



1 OVERALL FLOOR PLAN
 3/32" = 1'-0" (ON 24x36 SHEET)



INTERIOR AREA CALCULATIONS:

ASSISTED LIVING CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS & CORRIDORS	8440.4 SF.
DINING AREA	185.2 SF.
LAUNDRY ROOM	125.8 SF.
BATHING ROOM	171.1 SF.
STORAGE ROOM	125.6 SF.
NURSE STATION	86.8 SF.
TOTAL	9490.3 SF.

COMMON AREAS:	
AREA DESCRIPTION:	TOTAL SF.
COMMON LOUNGE	186.5 SF.
COMMON DINING	513.6 SF.
COMMON SEATING	151.4 SF.
COMMON LOUNGE	811.5 SF.
TOTAL	2333.0 SF.

SUPPORT AREAS:	
AREA DESCRIPTION:	TOTAL SF.
KITCHEN AREA	531.8 SF.
SALON AREA	1107.1 SF.
MECHANICAL/ELECTRIC	152.6 SF.
STAFF OFFICES	402.5 SF.
TOTAL	1203.6 SF.

MEMORY CARE CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS & CORRIDORS	6203.6 SF.
LOUNGE AREA	192.5 SF.
DINING AREA	233.9 SF.
NURSE STATION	86.8 SF.
STORAGE ROOM	100.8 SF.
LAUNDRY ROOM	125.8 SF.
BATHING ROOM	125.1 SF.
MECHANICAL/ELECTRIC	88.8 SF.
STORAGE ROOM	63.3 SF.
TOTAL	12871.2 SF.

TOTAL BUILDING AREA (TO INSIDE FACE OF WALLS): 20314.1 SF.

BASIC ALLOWABLE BUILDING AREA CALCULATIONS:
 ALLOWABLE BUILDING AREA FORMULA: $A_B = A_1 + (A_2 \times [P] + (A_3 \times 3))$
 AREA INCREASE FOR FRONTAGE FORMULA: $I_F = (I/P) \times (0.25) \times W/30$
 BASIC ALLOWABLE BUILDING AREA (A₁): 4500 SF.
 TOTAL BUILDING PERMITTER (P): 119'-0"
 BUILDING PERIMETER W/IN 20'-0" OPEN SIDES (W): 686'-6"
 WEIGHTED AVERAGE FOR OPEN SIDES (W): 300

$2935 = [(31'-6" \times 29'-0") + (655'-0" \times 30)] / 686'-6"$
 913.5
 196500

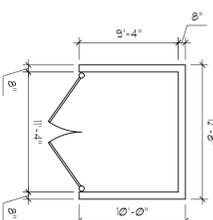
$0.63 = [(686'-6" / 119'-0") - 0.25] \times (30 / 30)$
 0.88

$20835 \text{ SF.} = 4500 \text{ SF.} + (4500 \text{ SF.} \times 0.63) + (4500 \text{ SF.} \times 3)$
 4500 SF. 2835 SF. 13500 SF.

ALLOWABLE BUILDING AREA: 20835 SF.

BUILDING AREA: 20314.1 SF.
 COVERED PATIOS: 216.1 SF.
 TOTAL AREA: 20664.4 SF.

2 TRASH ENCLOSURE PLAN
 1/8" = 1'-0" (ON 24x36 SHEET)



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME: RUSSELL R. ROSA

SHEET NO. 2023 DATE: _____
 SHEET NO. 2023 DATE: _____

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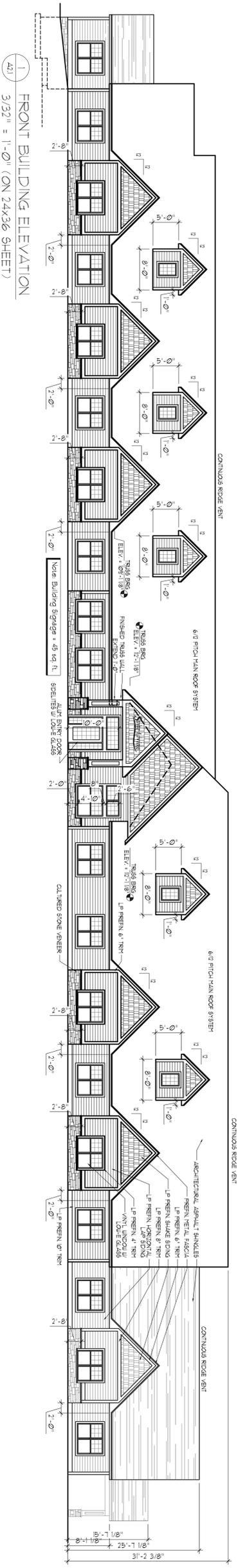
PRELIMINARY
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PROJECT #: 21931
 DATE: DEC. 12, 2019
 DRAWN BY: JL
 CHECKED BY: RR
 REVISIONS: _____

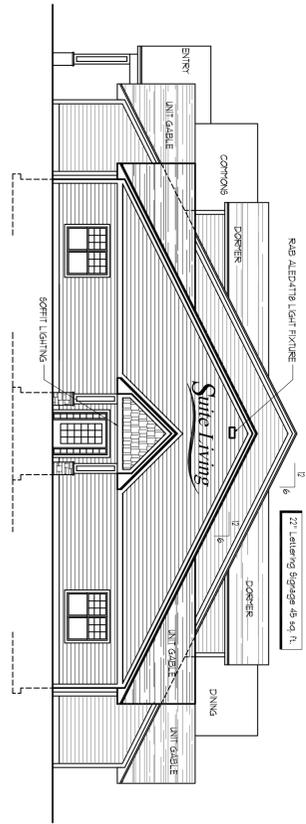
BUILDING
ELEVATIONS

SHEET

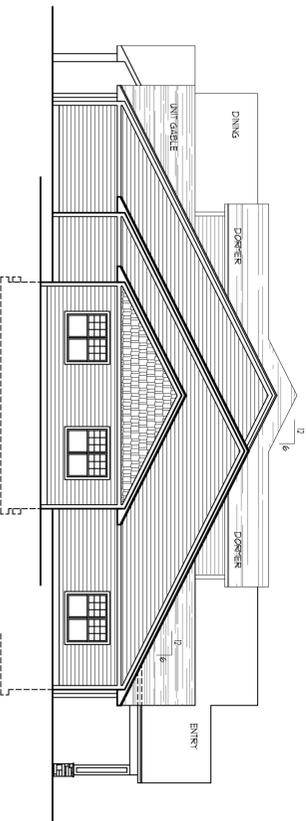
A2.1



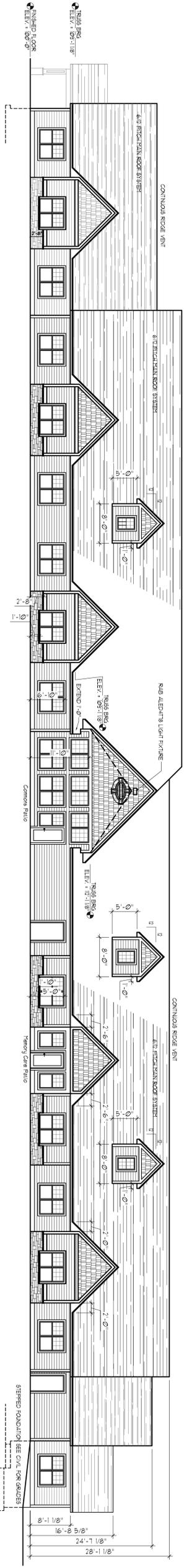
1 FRONT BUILDING ELEVATION
 3/32" = 1'-0" (ON 24X36 SHEET)



2 ASSISTED LIVING SIDE BUILDING ELEVATION
 3/32" = 1'-0" (ON 24X36 SHEET)



3 MEMORY CARE SIDE BUILDING ELEVATION
 3/32" = 1'-0" (ON 24X36 SHEET)



4 REAR BUILDING ELEVATION
 3/32" = 1'-0" (ON 24X36 SHEET)

EXTERIOR AREA CALCULATIONS:

FRONT ELEVATION (DETAIL 1/A21)

MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	2313.3 SF.	63.5%
CULTURED STONE VENEER	322.6 SF.	9.4%
VINYL WINDOWS WITH LOW-E GLASS	635.5 SF.	20.4%
ALUMINUM ENTRY DOORS	23.9 SF.	0.7%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

ASSISTED LIVING SIDE ELEVATION (DETAIL 2/A21)

MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	1438.0 SF.	92.3%
CULTURED STONE VENEER	12.1 SF.	0.8%
VINYL WINDOWS WITH LOW-E GLASS	17.5 SF.	4.7%
ALUMINUM ENTRY DOORS	23.9 SF.	1.5%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

MEMORY CARE SIDE ELEVATION (DETAIL 3/A21)

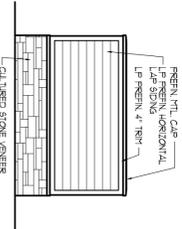
MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	1414.0 SF.	93.8%
CULTURED STONE VENEER	4.2 SF.	0.3%
VINYL WINDOWS WITH LOW-E GLASS	90.0 SF.	6.0%
ALUMINUM ENTRY DOORS	0.0 SF.	0.0%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

REAR ELEVATION (DETAIL 4/A21)

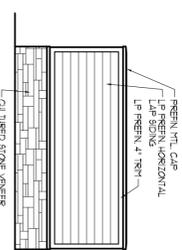
MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	2209.2 SF.	63.6%
CULTURED STONE VENEER	205.6 SF.	6.5%
VINYL WINDOWS WITH LOW-E GLASS	6,117 SF.	21%
ALUMINUM ENTRY DOORS	45.6 SF.	1.4%
INSULATED HOLLOW METAL DOORS	43.3 SF.	1.4%



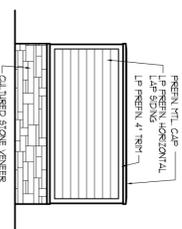
5 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)



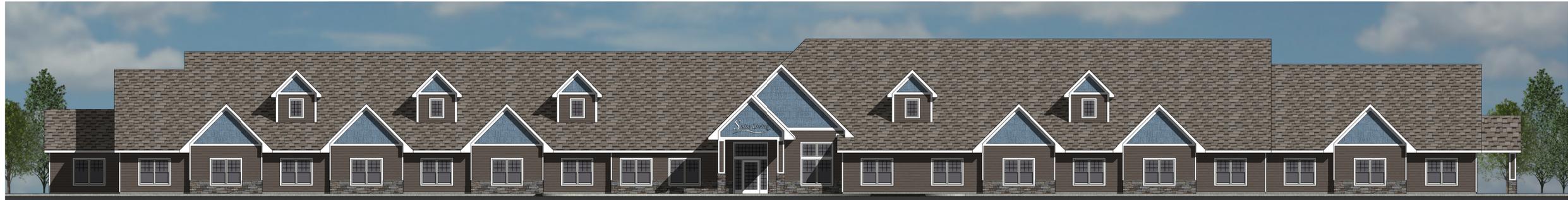
6 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)



7 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)



8 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)



1 PROPOSED FRONT ELEVATION
 A4.1 3/32" = 1'-0" (ON 24x36 SHEET)



2 PROPOSED SIDE ELEVATION
 A4.1 3/32" = 1'-0" (ON 24x36 SHEET)



3 PROPOSED SIDE ELEVATION
 A4.1 3/32" = 1'-0" (ON 24x36 SHEET)



4 PROPOSED REAR ELEVATION
 A4.1 3/32" = 1'-0" (ON 24x36 SHEET)



5 TRASH ENCLOSURE ELEV.
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8 TRASH ENCLOSURE ELEV.
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Rosa
 Architectural
 Group
 Inc.

1084 Sterling Street
 St. Paul, MN 55119
 tel: 651-739-7988
 fax: 651-739-3165

STROH ENGINEERING
 consulting structural engineers

PO 792140
 Paia, HI 96779
 strohengineering@hotmail.com

Suite Living

3501 Douglas Drive
 Crystal, MN 55422

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGNED: _____

REG. NO. _____ DATE: _____

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PROJECT #: 21931

DATE: DEC. 12, 2019

DRAWN BY: JL

CHECKED BY: RR

REVISIONS: _____

PROPOSED
 COLOR
 ELEVATIONS

SHEET

A4.1

SUITE LIVING OF CRYSTAL

CRYSTAL, MINNESOTA

Rosa
Architectural
Group

Inc.

1084 Sterling Street
St. Paul, MN 55119
tel: 651-739-7988
fax: 651-739-3165

STROH ENGINEERING
consulting structural engineers

PO 792140
Paola, HI 96779
strohengineering@hotmail.com

Suite Living

3501 Douglas Drive
Crystal, MN 55422



PROJECT TEAM

DEVELOPER	CIVIL ENGINEER
SUITE LIVING / HAMPTON COMPANIES LLC 1341 COUNTY ROAD D VANDAIS HEIGHTS, MN 55109	CIVIL SITE GROUP 4931 W. 35th STREET, SUITE 200 ST. LOUIS PARK, MN 55416
ARCHITECT	SURVEYOR
ROSA ARCHITECTURAL GROUP, INC. 1084 STERLING STREET N ST. PAUL, MN 55119	CIVIL SITE GROUP 4931 W. 35th STREET, SUITE 200 ST. LOUIS PARK, MN 55416

SHEET INDEX

ARCHITECTURAL

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A31	BUILDING SECTIONS
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CIVIL

C00	TITLE SHEET
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V11	PRELIMINARY PLAT
V12	FINAL PLAT
C10	REMOVALS PLAN
C20	SITE PLAN
C2.1	SITE PLAN - GARBAGE TRUCK TURNING MOVEMENTS
C30	GRADING PLAN
C4.0	UTILITY PLAN
C4.1	OFF SITE WATER MAIN EXTENSION PLAN
C50	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
L10	LANDSCAPE PLAN
L11	LANDSCAPE PLAN NOTES & DETAILS
SW10	SWPPP - EXISTING CONDITIONS
SW11	SWPPP - PROPOSED CONDITIONS
SW12	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS

TITLE SHEET &
PROJECT INFO

SHEET

T1.1

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINT NAME: RUSSELL R. ROSA

SCALE: _____
REV. NO. _____ DATE: _____

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT #: 21931
DATE: DEC. 12, 2019
DRAWN BY: JL
CHECKED BY: RR
REVISIONS: _____

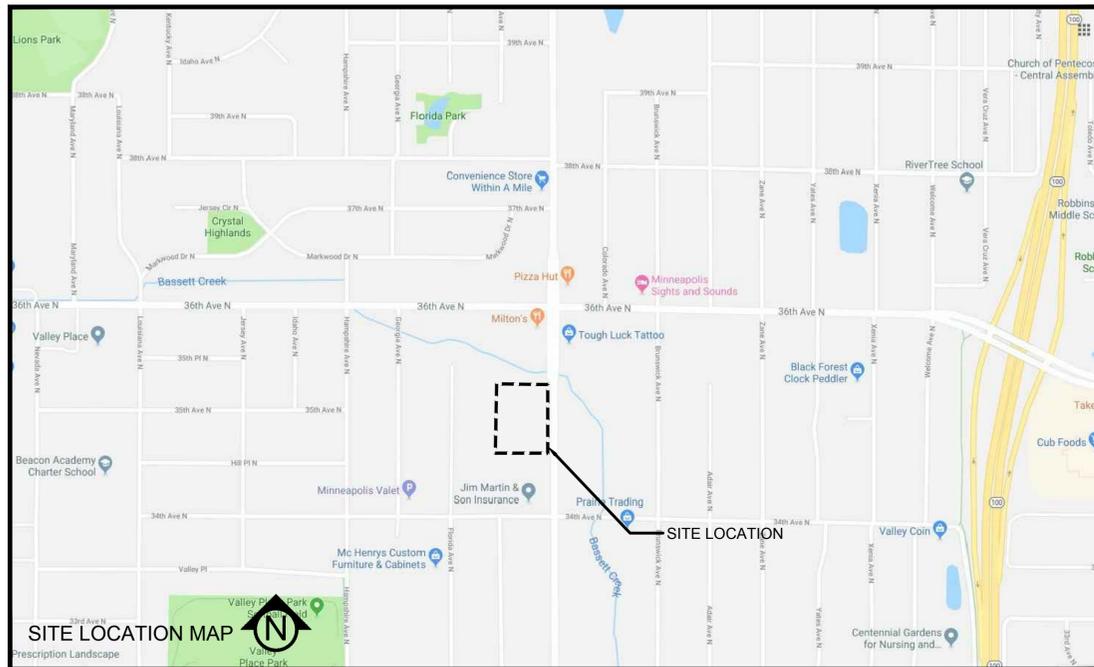
SCALE: _____
REV. NO. 12023 DATE: _____

SUITE LIVING CRYSTAL

CRYSTAL, MINNESOTA

ISSUED FOR: CITY SUBMITTAL

PRELIMINARY:
NOT FOR
CONSTRUCTION



PROJECT
SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek
Matthew R. Pavsek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

TITLE SHEET

C0.0

DEVELOPER / PROPERTY OWNER:

SUITE LIVING/HAMPTON COMPANIES LLC
1341 COUNTY ROAD D CIRCLE
VADNAIS HEIGHTS, MN 55109

ARCHITECT:

ROSA ARCHITECTURAL GROUP, INC.
1084 STERLING STREET
ST. PAUL, MN 55119
651-366-7971

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
612-615-0060

SURVEYOR:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
612-615-0060

GEOTECHNICAL ENGINEER:

HUGO GEOTECHNICAL SERVICES
2825 CEDAR AVENUE S
MINNEAPOLIS, MN 55407

MASTER LEGEND:

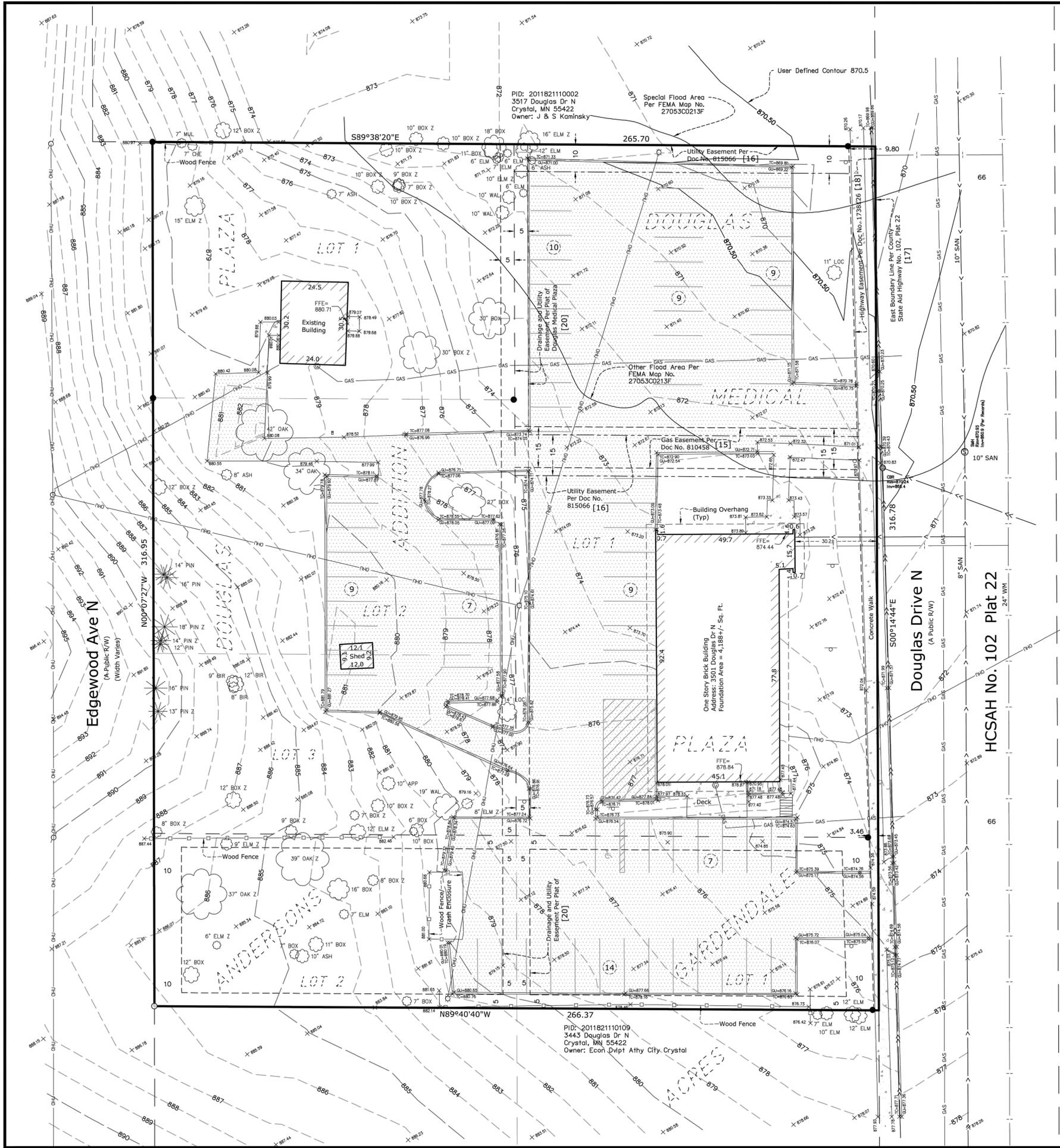
--- 1125 ---	EX. 1' CONTOUR ELEVATION INTERVAL		PROPOSED MANHOLE STORM
X 1137.12	EXISTING SPOT GRADE ELEVATION		PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
--- 1137 ---	1.0' CONTOUR ELEVATION INTERVAL		PROPOSED GATE VALVE
41.26	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)		PROPOSED FIRE HYDRANT
891.00 G	SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP)		PROPOSED MANHOLE SANITARY
891.00 TC	SPOT GRADE ELEVATION TOP OF WALL		PROPOSED SIGN
891.00 BS/TS	SPOT GRADE ELEVATION BOTTOM OF WALL		PROPOSED LIGHT
	DRAINAGE ARROW		PROPOSED SANITARY SEWER
	EMERGENCY OVERFLOW		PROPOSED STORM SEWER
EOF=1135.52			PROPOSED WATER MAIN
	SILT FENCE / BIOROLL - GRADING LIMIT		EXISTING SANITARY SEWER
	INLET PROTECTION		EXISTING STORM SEWER
	STABILIZED CONSTRUCTION ENTRANCE		EXISTING WATER MAIN
	SOIL BORING LOCATION		EXISTING GAS MAIN
	CURB AND GUTTER (T.O = TIP OUT)		EXISTING UNDERGROUND ELECTRIC
			EXISTING UNDERGROUND CABLE
			EXISTING MANHOLE
			EXISTING CATCH BASIN
			EXISTING HYDRANT
			EXISTING STOPBOX
			EXISTING GATE VALVE
			EXISTING LIGHT
			EXISTING GAS METER
			EXISTING ELECTRIC BOX
			EXISTING GAS VALVE



Know what's below.
Call before you dig.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
V1.1	PRELIMINARY PLAT
V1.2	FINAL PLAT
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C4.1	OFF SITE WATER MAIN EXTENSION PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
LT1.0	LIGHTING PLAN
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS



DESCRIPTION OF PROPERTY SURVEYED

Parcel 1: Lot 1, Block 1, Douglas Medical Plaza, Hennepin County, Minnesota;
 Parcel 2: Lots 1, 2 and 3, Block 1, Douglas Plaza Addition, Hennepin County, Minnesota;
 Parcel 3: Lots 1 and 2, Block 1, Andersons Gardendale Acres, Hennepin County, Minnesota.

Torrens Property
 Torrens Certificate No. 1403357

ALTA/NSPS Land Title Survey Notes
 (numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
 - Site Address: 3501 Douglas Drive, Crystal, MN 55422.
 - This property is contained in Special Flood Areas, Other Flood Areas and Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0213F, effective date of November 4, 2016. Please note that we have shown the location of the division lines between sad zones by digitizing said FEMA Map.
 - The Gross land area is 84,293 +/- square feet or 1.935 +/- acres.
 - Elevations are based on the NGVD 29 Datum. Site Benchmark is the finished floor elevation in the south entrance of building 3501 Douglas Dr., having an elevation of 878.84.
 - The current Zoning for the subject property was not provided.
- Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- Due diligence was utilized throughout the course of this survey to ensure all permanent site features were located, but snow/ice cover may have inhibited the location of some permanent site features.
 - The number of parking stalls on this site are as follows: 74 Regular + 1 Handicap = 75 Total Parking Stalls. (per Aerial Photo)
 - We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
 - The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS.

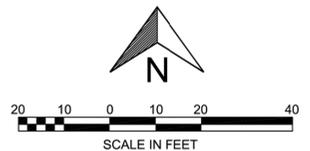
SURVEY REPORT

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Custom Home Builders Title, LLC, as agent for Old Republic National Title Insurance Company, File No. HB-40766, Supplemental No. 1, dated November 21, 2019. We note the following with regards to Schedule B of the herein referenced Title Commitment:
 - Items no.'s 1-14, 19 and 21-24 are not survey related.
 - The following are numbered per the referenced title Commitment:
 - Terms and conditions of Agreement between Village of Crystal and Edwin E. Kauffman Jr. and Patricia J. Kauffman, husband and wife; Richard C. Kauffman and Janet C. Kauffman, husband and wife, in regard to sanitary sewers, filed September 12, 1960, as Document No. 636688. (as to land in Pars 1 & 2)
 - Terms and conditions of Easement in favor of Minneapolis Gas Company, as created in document dated, filed June 14, 1965, as Document No. 810458. (as to parcel 1) As shown hereon over part of Lot 1 DOUGLAS MEDICAL PLAZA.
 - Terms and conditions of Declaration of Easement for utility and sanitary sewer, dated July 7, 1965, filed July 26, 1965, as Document No. 815066. (as to land in Pars 1 & 2) As shown hereon over part of Lot 1 DOUGLAS MEDICAL PLAZA.
 - Terms and conditions of Hennepin County State Aid Highway Number 102, Plat 22, as directed by Resolution Doc No. 979240, filed May 30, 1974, as Document No. 1108765. (as to land in Par 1 and as to Lot 1 in Par 3) As shown hereon along the east property line.
 - Terms and conditions of Easement for highway purposes over part of land in Par 1, in favor of Hennepin County, as created in quit claim deed filed July 11, 1986, as Document No. 1738126. As shown hereon along the east property line
 - Easements for utilities and drainage as shown on the recorded plat. As shown hereon along the east lines of Lots 1, 2 and 3 of DOUGLAS PLAZA ADDITION and along the west line of Lot 1 DOUGLAS MEDICAL PLAZA.

ALTA CERTIFICATION

To: FTKD Properties, Inc., a Minnesota corporation; Hampton Companies, LLC, a Minnesota limited liability company; Old Republic National Title Insurance Company; and Custom Home Builders Title, LLC.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 8, 9, 11 of Table A thereof. The field work was completed on December 11, 2019.
 Dated this 11th day of December, 2019.

Rory L. Synstelien
 rory@civilsitegroup.com
 Minnesota License No. 44565



Linetype & Symbol Legend

FD	FIBER OPTIC	⊕	SIGN	⊠	AIR CONDITIONER
GAS	GASMAIN	⊙	UTILITY MANHOLE	⊙	BOLLARD
W	WATERMAIN	⊙	SANITARY MANHOLE	⊙	ELECTRIC MANHOLE
SS	SANITARY SEWER	⊙	STORM MANHOLE	⊙	FLAG POLE
SS	STORM SEWER	⊙	CATCH BASIN	⊙	FLARED END SECTION
DHU	OVERHEAD UTILITIES	⊙	TELEPHONE BOX	⊙	GAS VALVE
TEL	TELEPHONE LINE	⊙	TELEPHONE MANHOLE	⊙	HANDICAP SYMBOL
ELE	ELECTRIC LINE	⊙	ELECTRIC TRANSFORMER	⊙	HYDRANT
CTV	CABLE LINE	⊙	TRAFFIC SIGNAL	⊙	WATER MANHOLE
CL	CHAINLINK FENCELINE	⊙	CABLE TV BOX	⊙	WATER VALVE
WF	WOODEN FENCELINE	⊙	ELECTRICAL METER	⊙	POWER POLE
G	GUARDRAIL	⊙	GAS METER	⊙	GUY WIRE
C	CONCRETE SURFACE	⊙	FOUND IRON MONUMENT	⊙	CONIFEROUS TREE
P	PAVER SURFACE	⊙	SET IRON MONUMENT	⊙	DECIDUOUS TREE
B	BITUMINOUS SURFACE	⊙	CAST IRON MONUMENT	⊙	
G/L	GRAVEL/LANDSCAPE SURFACE	⊙		⊙	

PROJECT
 Suite Living of Crystal

CLIENT
 3501 Douglas Drive, Crystal, MN 55422
 Hampton Companies, LLC
 1341 County Rd D Circle, Vadnais Heights, MN 55109

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

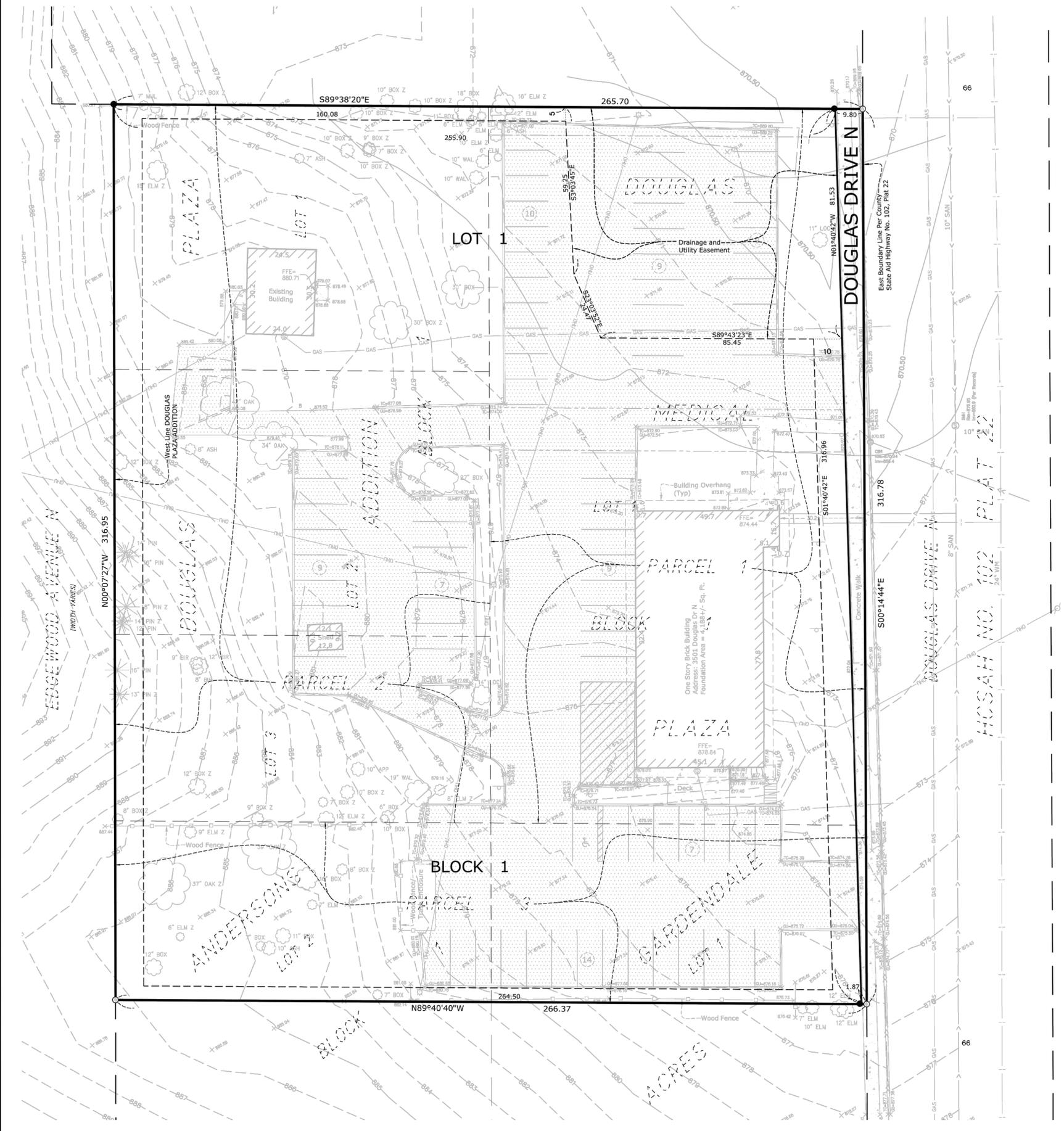
RORY L. SYNSTELIEN
 DATE 12-11-2019 LICENSE NO. 44565



REVISION SUMMARY

DATE	DESCRIPTION

PRELIMINARY PLAT: SUITE LIVING OF CRYSTAL



PRELIMINARY PLAT GENERAL NOTES

LEGAL DESCRIPTION:

Parcel 1: Lot 1, Block 1, Douglas Medical Plaza, Hennepin County, Minnesota;
Parcel 2: Lots 1, 2 and 3, Block 1, Douglas Plaza Addition, Hennepin County, Minnesota;
Parcel 3: Lots 1 and 2, Block 1, Andersons Gardendale Acres, Hennepin County, Minnesota.

DATE OF PREPARATION:

12-11-2019

OWNER/APPLICANT:

Hampton Companies, LLC
1341 County Rd D Circle, Vadnals Heights, MN 55109

BENCHMARKS:

Elevations are based on the NGVD 29 Datum. Site Benchmark is the finished floor elevation in the south entrance of building 3501 Douglas Dr., having an elevation of 878.84.

AREAS:

Lot 1 = 82,444 Sq. Ft. or 1.8927 Acres

Dedicated Right of Way = 1,849 Sq. Ft. or 0.0424 Acres

Total = 84,293 Sq. Ft. or 1.9351 Acres

FLOOD ZONE DESIGNATION:

This property is contained in Special Flood Areas, Other Flood Areas and Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0213F, effective date of November 4, 2016. Please note that we have shown the location of the division lines between sad zones by digitizing said FEMA Map.

[Signature]
Rory L. Synsteliën
rory@civilsitegroup.com

Minnesota License No. 44565



Linetype & Symbol Legend

FO FIBER OPTIC	⊕ SIGN	⊠ AIR CONDITIONER
GAS GASMAIN	⊙ UTILITY MANHOLE	⊙ BOLLARD
WATERMAIN	⊙ SANITARY MANHOLE	⊙ ELECTRIC MANHOLE
⊖ SANITARY SEWER	⊙ STORM MANHOLE	⊙ FLAG POLE
⊖ STORM SEWER	⊙ CATCH BASIN	⊙ FLARED END SECTION
OHU OVERHEAD UTILITIES	⊙ ROOF DRAIN	⊙ GAS VALVE
TEL TELEPHONE LINE	⊙ TELEPHONE BOX	⊙ HANDICAP SYMBOL
ELE ELECTRIC LINE	⊙ TELEPHONE MANHOLE	⊙ HYDRANT
CABLE LINE	⊙ ELECTRIC TRANSFORMER	⊙ WATER MANHOLE
X CHAINLINK FENCELINE	⊙ TRAFFIC SIGNAL	⊙ WATER VALVE
W WOODEN FENCELINE	⊙ CABLE TV BOX	⊙ POWER POLE
○ GUARDRAIL	⊙ ELECTRICAL METER	⊙ GUY WIRE
CONCRETE SURFACE	⊙ GAS METER	⊙ CONIFEROUS TREE
PAVER SURFACE	⊙ FOUND IRON MONUMENT	⊙ DECIDUOUS TREE
BITUMINOUS SURFACE	⊙ SET IRON MONUMENT	
GRAVEL/LANDSCAPE SURFACE	⊙ CAST IRON MONUMENT	

Suite Living of Crystal

3501 Douglas Drive, Crystal, MN 55422

Hampton Companies, LLC

1341 County Rd D Circle, Vadnals Heights, MN 55109

PROJECT

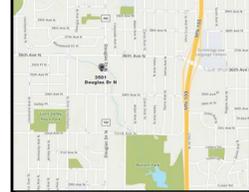
CLIENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]
RORY L. SYNSTELIËN
DATE 12-11-19 LICENSE NO. 44565

QA/QC	
FIELD CREW	
DRAWN BY	JRN
REVIEWED BY	
UPDATED BY	

VICINITY MAP



REVISION SUMMARY	
DATE	DESCRIPTION

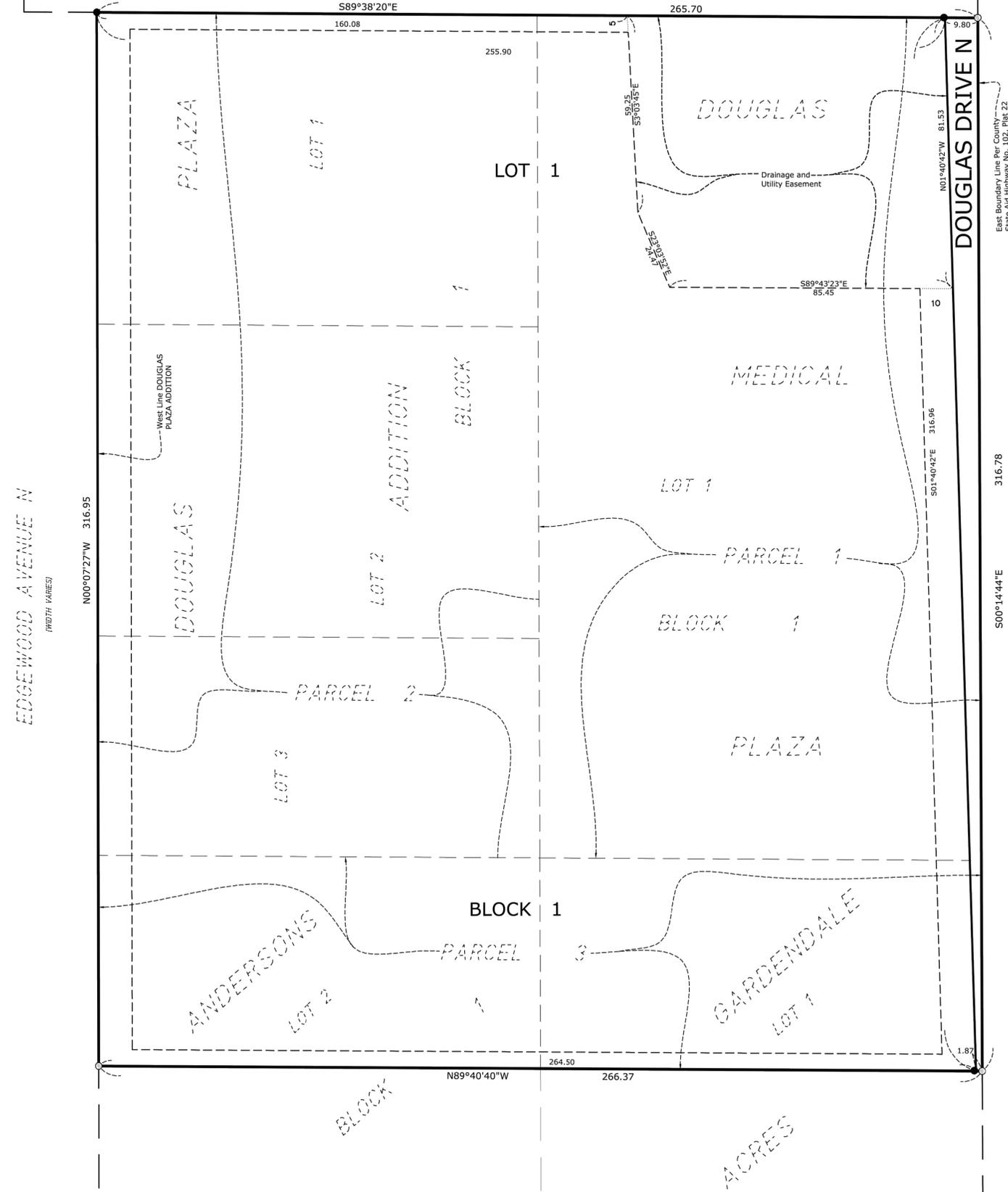
PROJECT NO. 19313

PRELIMINARY PLAT

V1.1

SUITE LIVING OF CRYSTAL

R.T. DOC. NO _____



66

KNOW ALL PERSONS BY THESE PRESENTS: That Hampton Companies, a Minnesota limited liability company, fee owner of the following described property situated in the State of Minnesota, County of Hennepin, to wit:

- Parcel 1: Lot 1, Block 1, Douglas Medical Plaza, Hennepin County, Minnesota;
- Parcel 2: Lots 1, 2 and 3, Block 1, Douglas Plaza Addition, Hennepin County, Minnesota;
- Parcel 3: Lots 1 and 2, Block 1, Andersons Gardendale Acres, Hennepin County, Minnesota.

Has caused the same to be surveyed and platted as SUITE LIVING OF CRYSTAL and does hereby dedicate to the public for public use the public way and the drainage and utility easements as created by this plat.

In witness whereof said Hampton Companies, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

SIGNED: Hampton Companies

By: _____ Its: _____

STATE OF _____ COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____, by _____, its _____ of Hampton Companies, a Minnesota limited liability company, on behalf of the company.

Notary Public, Signature _____ Notary Printed Name _____ My Commission Expires: _____

Notary Public _____ County, _____

SURVEYORS CERTIFICATE

I Rory L. Synstellen do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Rory L. Synstellen, Licensed Land Surveyor
Minnesota License No. 44565

STATE OF MINNESOTA, COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____, by Rory L. Synstellen

Notary Public, Signature _____ Notary Printed Name _____ My Commission Expires: _____

Notary Public _____ County, _____

CRYSTAL, MINNESOTA

This plat of SUITE LIVING OF CRYSTAL was approved and accepted by the City Council of Crystal, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Crystal, Minnesota

By: _____, Mayor By: _____, City Manager

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Mark V. Chapin, Hennepin County Auditor

By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to Minnesota Statutes Section 383B.565 (1969), this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, Hennepin County Surveyor

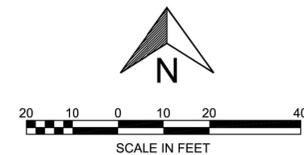
By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of SUITE LIVING OF CRYSTAL was filed in this office this _____ day of _____, 20____, at _____ O'Clock _____ M.

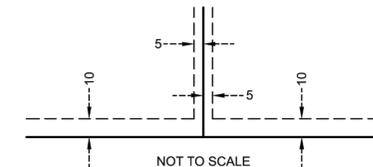
Martin McCormick, Registrar of Titles

By: _____, Deputy



Bearings are based on the West line of DOUGLAS PLAZA ADDITION having an assumed bearing of N 00°07'27" W

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



- Found 1/2 inch open Iron Monument
- 1/2 inch by 14 Iron Monument Set Marked "RLS 44565"

Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and 10 feet in width and adjoining right of way lines unless otherwise indicated, as shown on the plat.

66

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422
SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek
DATE: 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL

DRAWN BY: JD REVIEWED BY: MP

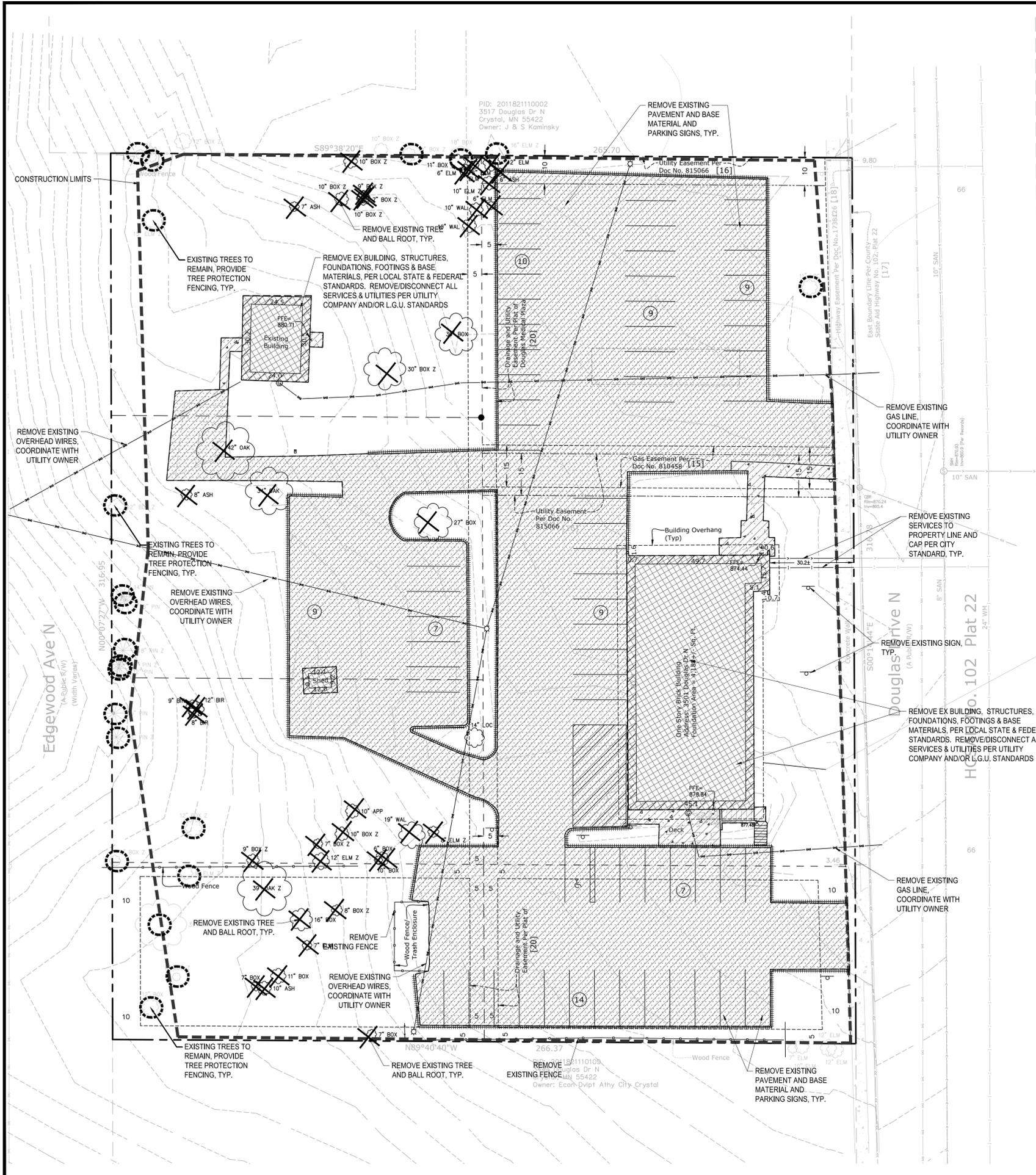
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

REMOVALS & TREE PROTECTION PLAN

C1.0



REMOVAL NOTES:

- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

CITY OF CRYSTAL REMOVAL NOTES:

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.5

TREE REPLACEMENT:

CITY TREE REPLACEMENT CALCULATIONS:

OVERALL EXISTING TREES: 62
OVERALL EXISTING TREES TO REMAIN: 56 (579 DBH)

SIGNIFICANT TREES REMOVED: 2
1 - 24"-35" DBH
1 - 36"-47" DBH

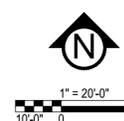
REQUIRED REPLACEMENT: 12 TREES

REMOVALS LEGEND:

- EX. 1' CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVAL OF CURB AND GUTTER, IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS



Know what's below.
Call before you dig.



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION
12/13/19 CITY SUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE DESCRIPTION

SITE PLAN

C2.0

© COPYRIGHT CIVIL SITE GROUP INC.

CITY OF CRYSTAL SITE SPECIFIC NOTES:

- RESERVED FOR CITY SPECIFIC NOTES.

OPERATIONAL NOTES:

SNOW REMOVAL:
SEE SNOW STORAGE AREA ON SITE PLAN.

SITE LEGAL DESCRIPTION:

Parcel 1: Lot 1, Block 1, Douglas Medical Plaza, Hennepin County, Minnesota;
Parcel 2: Lots 1, 2 and 3, Block 1, Douglas Plaza Addition, Hennepin County, Minnesota;
Parcel 3: Lots 1 and 2, Block 1, Andersons Gardendale Acres, Hennepin County, Minnesota.

SITE ZONING:

EXISTING ZONING: C- COMMERCIAL, R1- LOW DENSITY RESIDENTIAL
PROPOSED ZONING: PD- PLANNED DEVELOPMENT

SITE LAYOUT NOTES:

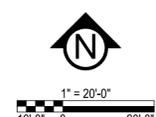
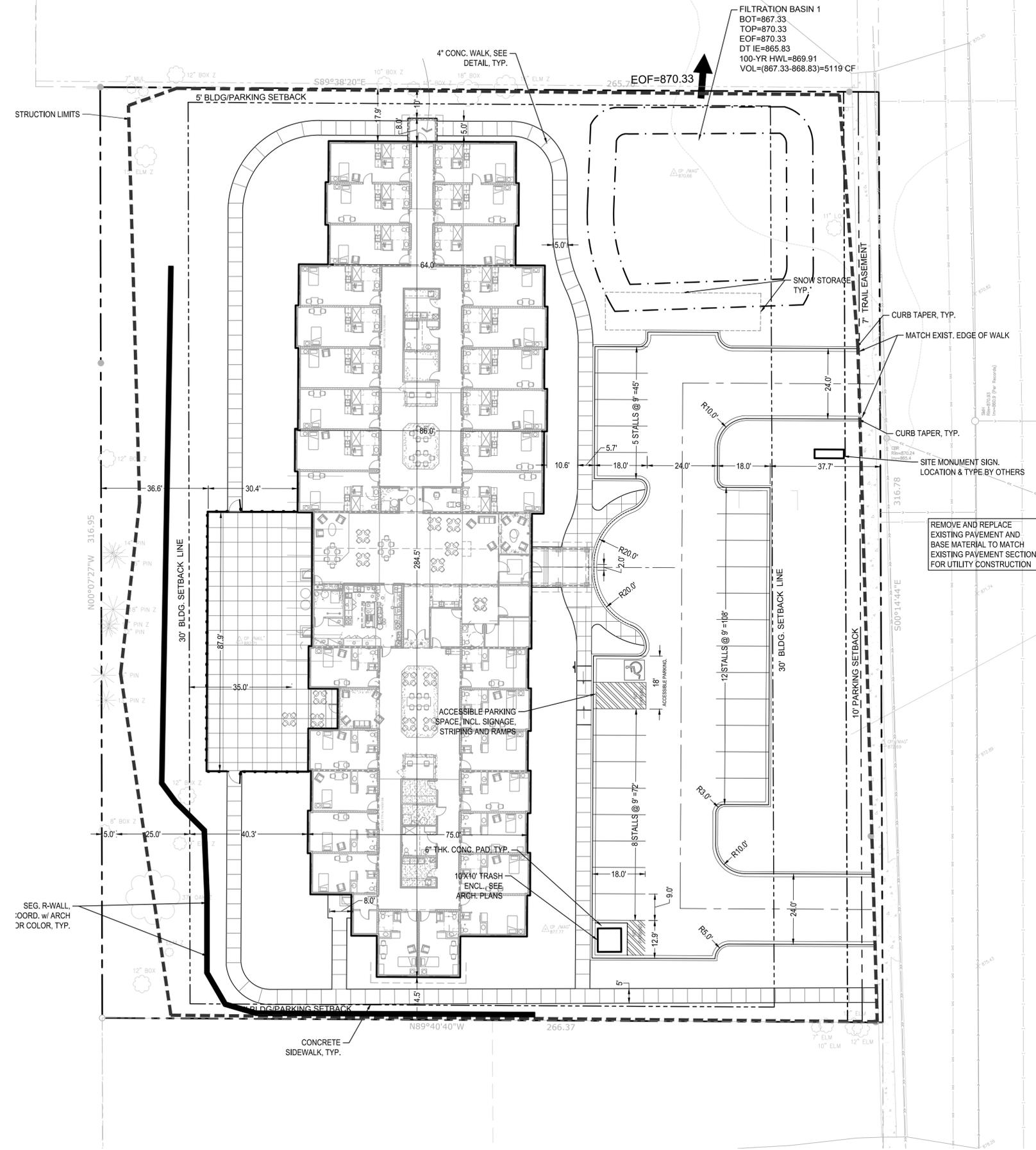
- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

SITE PLAN LEGEND:

- LIGHT DUTY BITUMINOUS PAVEMENT. SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.
- CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. SEE DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.
HC = ACCESSIBLE SIGN
NP = NO PARKING FIRE LANE
ST = STOP
CP = COMPACT CAR PARKING ONLY

SITE AREA TABLE:

SITE AREA CALCULATIONS	EXISTING CONDITION		PROPOSED CONDITION	
	AREA (SF)	PERCENT (%)	AREA (SF)	PERCENT (%)
BUILDING COVERAGE	5,034 SF	6.0%	20,744 SF	24.6%
ALL PAVEMENTS	33,848 SF	40.2%	22,717 SF	27.0%
ALL NON-PAVEMENTS	45,411 SF	53.9%	40,832 SF	48.4%
TOTAL SITE AREA	84,293 SF	100.0%	84,293 SF	100.0%
IMPERVIOUS SURFACE				
EXISTING CONDITION	38,882 SF	46.1%		
PROPOSED CONDITION	43,461 SF	51.6%		
DIFFERENCE (EX. VS PROP.)	4,579 SF	5.4%		



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

PROJECT

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Matthew R. Pavsek
Matthew R. Pavsek
DATE: 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

UTILITY PLAN

C4.0

GENERAL UTILITY NOTES:

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.

CITY OF CRYSTAL UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:

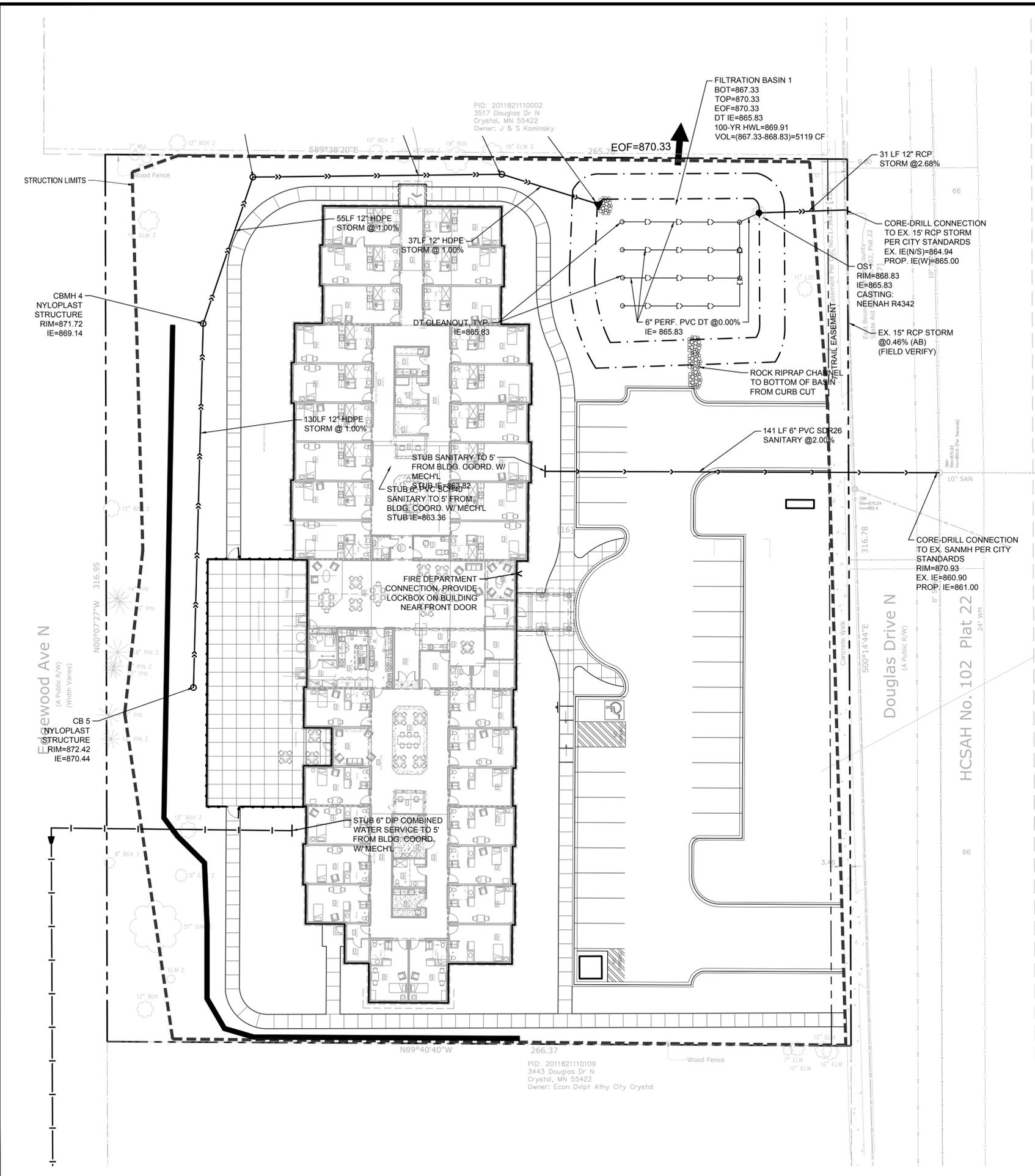
-  CATCH BASIN
-  MANHOLE
-  GATE VALVE AND VALVE BOX
-  PROPOSED FIRE HYDRANT
-  WATER MAIN
-  SANITARY SEWER
-  STORM SEWER
-  FES AND RIP RAP



Know what's below.
Call before you dig.



1" = 20'-0"
10'-0" 0 20'-0"



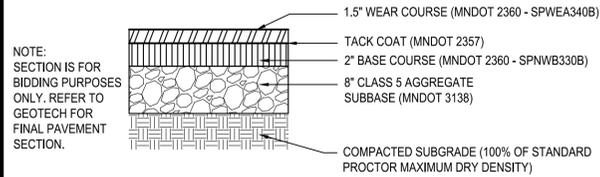
PID: 2011821110002
3517 Douglas Dr N
Crystal, MN 55422
Owner: J & S Kominsky

FILTRATION BASIN 1
BOT=867.33
TOP=870.33
EOF=870.33
DT IE=865.83
100-YR HWL=869.91
VOL=(867.33-868.83)=5119 CF

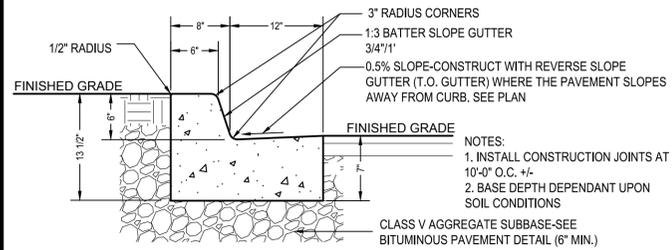
OS1
RIM=868.83
IE=865.83
CASTING:
NEENAH R4342

CORE-DRILL CONNECTION
TO EX. SANMH PER CITY
STANDARDS
RIM=870.93
EX. IE=860.90
PROP. IE=861.00

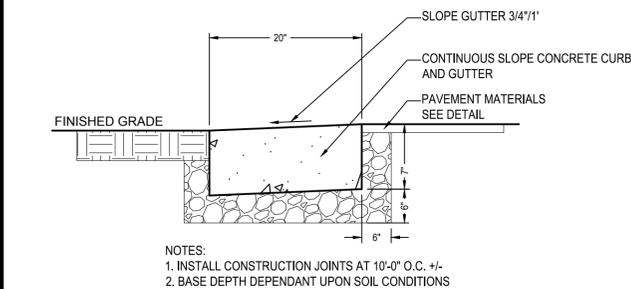
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3443 Douglas Dr N
Crystal, MN 55422
Owner: Econ Dvlp. Athy City Crystal



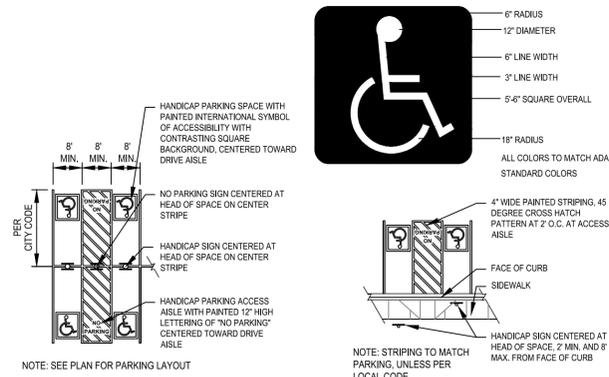
1 LIGHT DUTY BITUMINOUS PAVEMENT
N T S



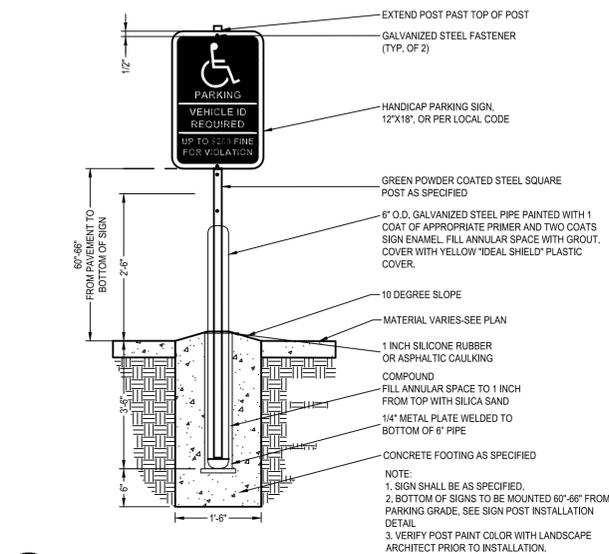
2 B-612 CONCRETE CURB AND GUTTER
N T S



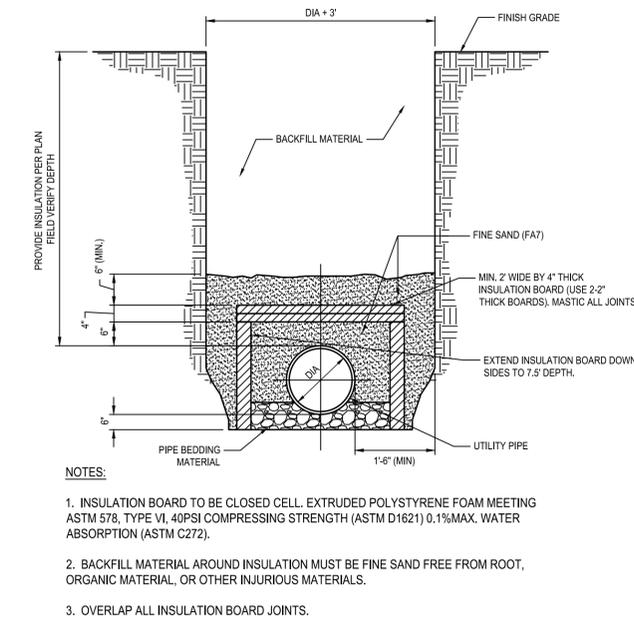
3 RIBBON CURB
N T S



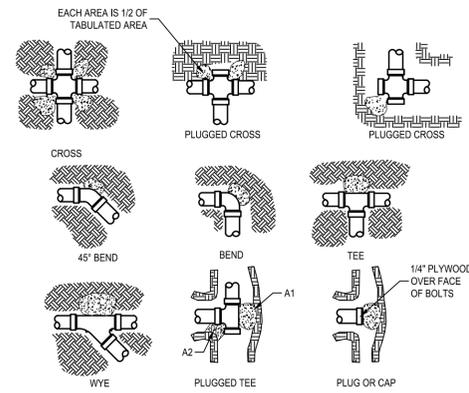
4 ACCESSIBLE SIGNAGE AND STRIPING
N T S



5 ACCESSIBLE SIGN AND POST
N T S



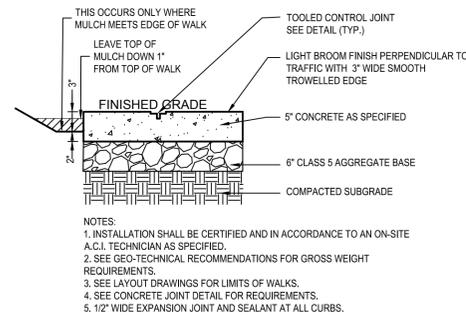
6 UTILITY PIPE INSULATION DETAIL
N T S



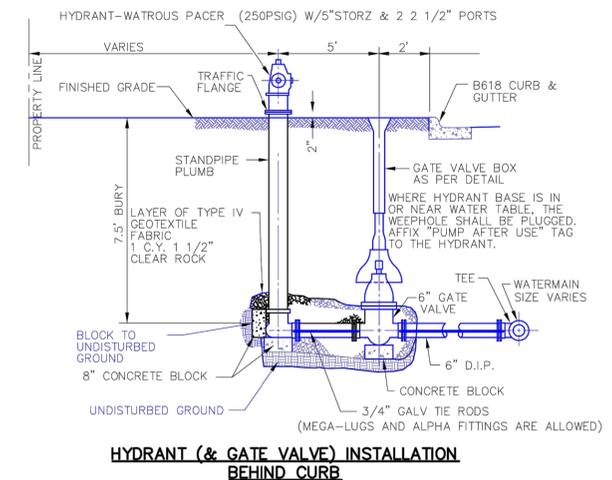
NOMINAL FITTING SIZE (INCHES)	TYE, WYE, PLUG, OR CAP	90° BEND, PLUGGED CROSS		TEE PLUGGED ON RUN		45° BEND	22.5° BEND	11.25° BEND
		A1	A2	A1	A2			
4	1.0	1.4	1.9	1.4	1.0	-	-	-
6	2.1	3.0	4.3	3.0	1.6	1.0	-	-
6	3.8	5.3	7.6	5.4	2.9	1.5	1.0	-
10	5.9	8.4	11.8	8.4	4.6	2.6	1.2	-
12	8.5	12.0	17.0	12.0	6.6	3.4	1.7	-
14	11.5	16.3	23.0	16.3	8.9	4.6	2.3	-
16	15.0	21.3	30.0	21.3	11.6	6.0	3.0	-
18	19.0	27.0	38.0	27.0	14.6	7.6	3.6	-
20	23.5	33.3	47.0	33.3	18.1	9.4	4.7	-
24	34.0	48.0	68.0	48.0	26.2	13.6	6.8	-

NOTES:
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
3. IF NOT SHOWN ON PLANS, REQUIRED BEARING AT FITTING SHALL BE AS INDICATED ABOVE, ADJUSTED IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS(ES).
4. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN THIS STANDARD DETAIL.
5. ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 P.S.I. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150) X (2000/SOIL BEARING STRESS) X (TABLE VALUE).

7 THRUST BLOCK
N T S



8 CONCRETE WALK/PAD
N T S (PRIVATE PROPERTY)



HYDRANT (& GATE VALVE) INSTALLATION BEHIND CURB



CITY OF CRYSTAL
4141 DOUGLAS DRIVE
CRYSTAL, MN 55422
ENGINEERING

DRAWING#
HYDRANT
DRAWN-MAY 18, 2018
REVISION DATE-

HYDRANT AND
GATE VALVE
INSTALLATION

PRELIMINARY:
NOT FOR
CONSTRUCTION

PROJECT
SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

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Matthew R. Pavlek
Matthew R. Pavlek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION

12/13/19 CITY SUBMITTAL

DRAWN BY: JD REVIEWED BY: MP

PROJECT NUMBER: 19313

REVISION SUMMARY

DATE DESCRIPTION

CIVIL DETAILS

C5.0

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

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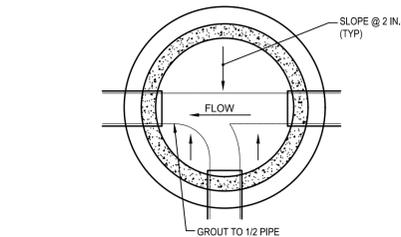
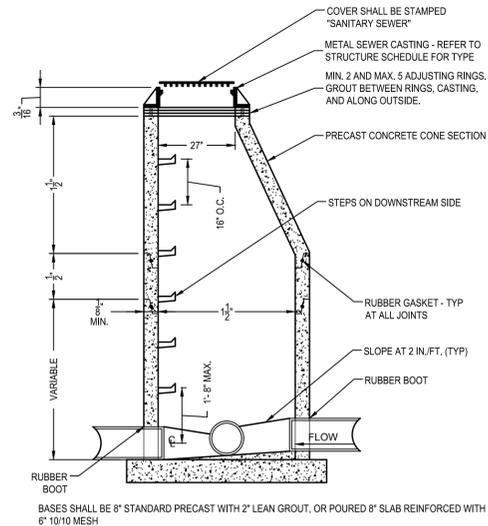
DRAWN BY: JD REVIEWED BY: MP

PROJECT NUMBER: 19313

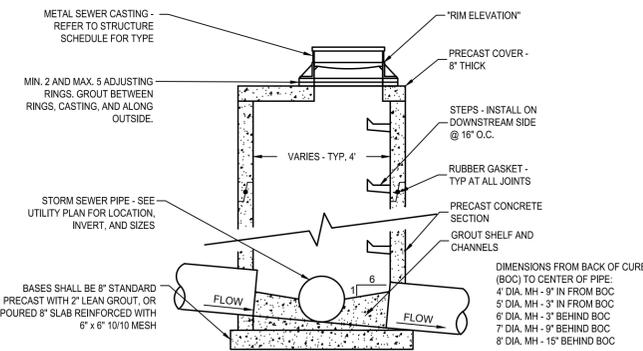
REVISION SUMMARY

DATE	DESCRIPTION
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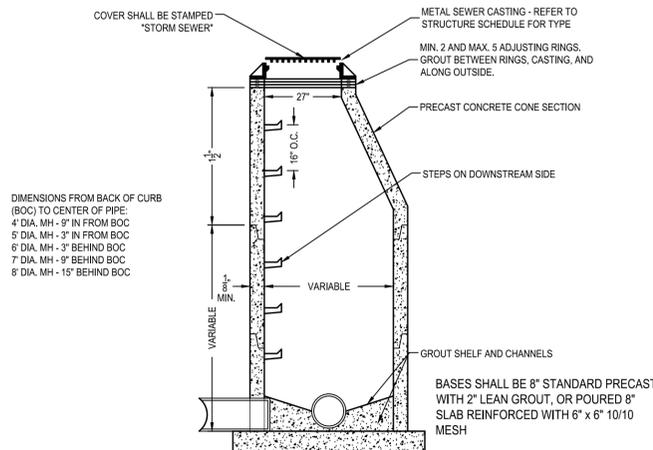
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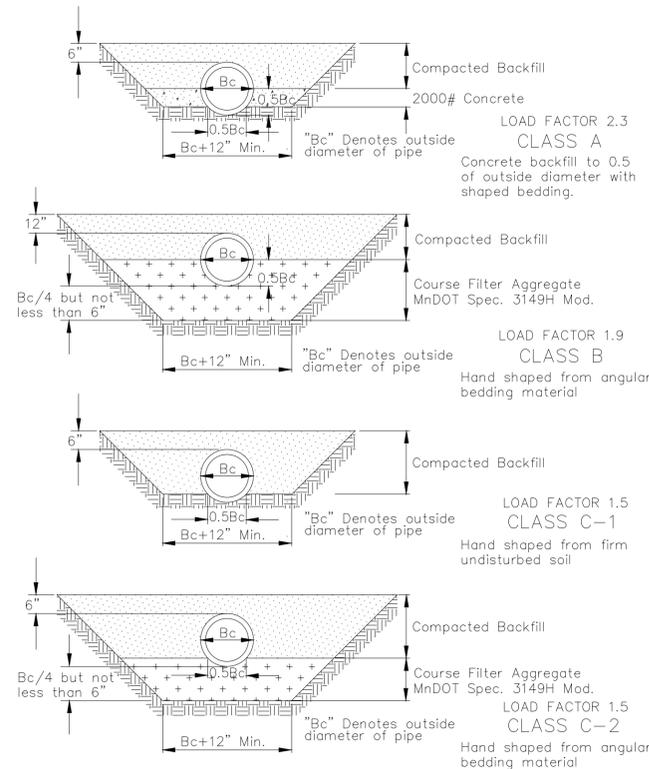
1 SANITARY SEWER MANHOLE
NTS



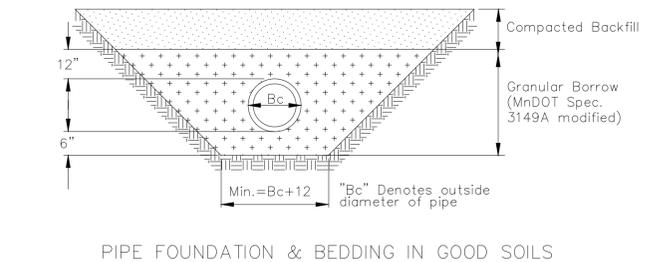
2 CATCH BASIN
NTS



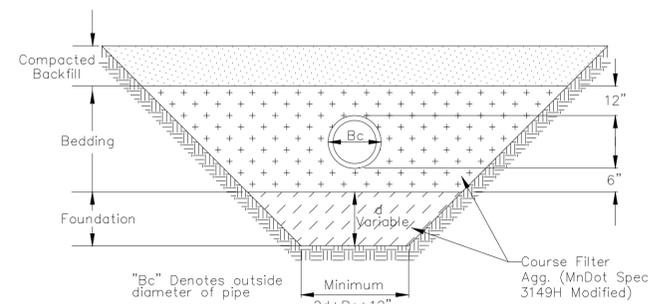
3 STORM MANHOLE
NTS



4 PIPE BEDDING - RCP & DIP
NTS



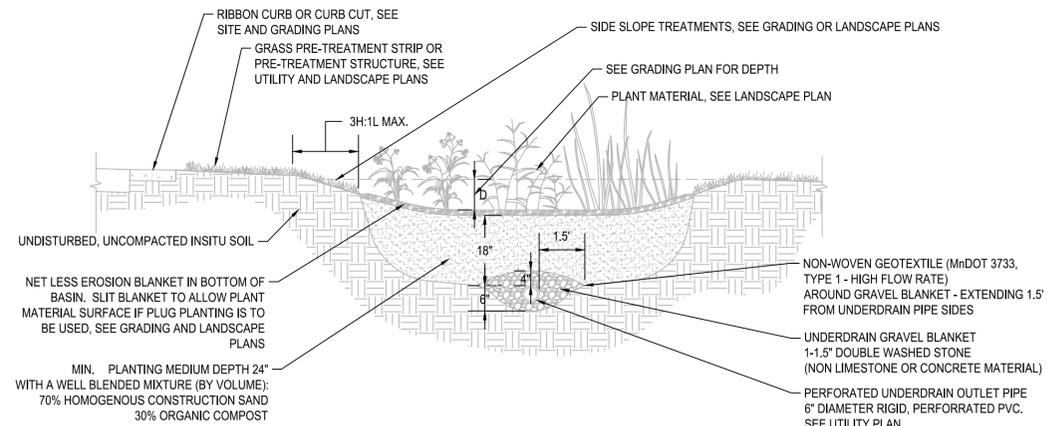
PIPE FOUNDATION & BEDDING IN GOOD SOILS



PIPE FOUNDATION & BEDDING IN POOR SOILS

5 PIPE BEDDING - PVC
NTS

6 BIO-FILTRATION BASIN (RAIN GARDEN - TYP.)
NTS



TYPICAL SECTION VIEW

CONSTRUCTION SEQUENCING

- INSTALL SILT FENCE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
- ALL DOWN-GRADE PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
- PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
- INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF BIORETENTION DEVICE.
- ROUGH GRADE THE SITE. IF BIORETENTION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS LEAVE A MINIMUM OF 3 FEET OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
- PERFORM ALL OTHER SITE IMPROVEMENTS.
- PLANT ALL AREAS AFTER DISTURBANCE.
- CONSTRUCT BIORETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
- IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
- PLANT AND/OR ROCK MULCH BIORETENTION DEVICE.
- REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES

- IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
- GRADING OF BIORETENTION DEVICES SHALL BE ACCOMPLISHED USING LOW-COMPACTION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.
- ALL SUB MATERIALS BELOW THE SPECIFIED BIORETENTION DEPTH (ELEVATION) SHALL BE UNDISTURBED, UNLESS OTHERWISE NOTED.

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NOT FOR
CONSTRUCTION**

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Patrick J. Sarver
DATE 12/13/19 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION

12/13/19 CITY SUBMITTAL

REVISION SUMMARY

DATE DESCRIPTION

04/03/19 FDC REVISIONS

DRAWN BY: JD REVIEWED BY: MP

PROJECT NUMBER: 19313

REVISION SUMMARY

DATE DESCRIPTION

04/03/19 FDC REVISIONS

PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
DECIDUOUS TREES						
SWO	10	SWAMP WHITE OAK	Quercus bicolor	2.5" CAL.	B&B	STRAIGHT LEADER, FULL FORM
SHL	6	SKYLINE HONEY LOCUST	Gleditsia triacanthos f. inermis 'Skycole'	2.5" CAL.	B&B	STRAIGHT LEADER, FULL FORM
PDPB	5	PRAIRIE DREAM PAPER BIRCH	Betula papyrifera 'Varen'	2.5" CAL.	B&B	MULTI-STEM.
PE	10	PRINCETON ELM	Ulmus americana 'Princeton'	2.5" CAL.	B&B	STRAIGHT LEADER, FULL FORM.
31		TOTAL DECIDUOUS OVERSTORY TREES				
ORNAMENTAL TREES						
ISL	6	IVORY SILK LILAC TREE	Syringa reticulata 'Ivory Silk'	2" CAL.	B&B	STRAIGHT LEADER, FULL FORM
6		TOTAL ORNAMENTAL TREES				
EVERGREEN TREES						
BHS	3	BLACK HILLS SPRUCE	Picea glauca 'Densata'	6" HT.	B&B	STRAIGHT LEADER, FULL FORM
NS	3	NORWAY SPRUCE	Picea abies	6" HT.	B&B	STRAIGHT LEADER, FULL FORM
6		TOTAL EVERGREEN TREES				
43		SUM, TOTAL SITE TREES				
SHRUBS - CONIFEROUS & EVERGREEN						
SGJ	14	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	#5	CONT.	36" HT.
DKL	22	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	#5	CONT.	24" HT.
IHD	22	IVORY HALO DOGWOOD	Cornus alba 'Bailhalo'	#5	CONT.	36" HT.
LLH	21	LITTLE LIME HYDRANGEA	Hydrangea paniculata 'Jane'	#3	CONT.	24" HT.
LDN	18	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Donna May'	#3	CONT.	24" HT.
DN	11	DIABOLO NINEBARK	Physocarpus opulifolius 'Monlo'	#5	CONT.	36" HT
SSW	18	SHINING SENSATION WEIGELA	Weigela florida 'Bokrashine'	#5	CONT.	36" HT.
126		TOTAL SHRUBS				
PERENNIALS						
DCC	50	DIANTHUS 'CRANBERRY COCKTAIL'	Dianthus 'Cranberry Cocktail'	#1	CONT.	

LANDSCAPE NOTES:

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

TREE REMOVAL & REPLACEMENT:

CITY TREE REPLACEMENT CALCULATIONS:

OVERALL EXISTING TREES: 62
OVERALL EXISTING TREES TO REMAIN: 56 (579 DBH)

SIGNIFICANT TREES REMOVED: 2
1 - 24"-35" DBH - REPLACE WITH (6) TOTAL
1 - 36"-47" DBH - REPLACE WITH (10) TOTAL

REQUIRED REPLACEMENT: 16 TREES (16 PROVIDED)

CITY REQUIRED LANDSCAPING:

EXISTING SITE: 84,293 SF
GREEN SPACE REQUIREMENTS, 15%: 12,644 SF MIN. REQ'D (42,176 SF, 50% PROVIDED)
OVERALL EXISTING TREES: 62
OVERALL EXISTING TREES TO REMAIN: 56 (579 DBH)

GREEN SPACE REQUIREMENTS:
1 TREE PER 1,000 SF OF SITE: 12,644 / 1,000 = 12.64 TREES REQ'D (13 PROVIDED)
1 SHRUB PER 100 SF OF SITE: 12,644 / 100 = 126 SHRUBS REQ'D (126 PROVIDED)

TREE REMOVAL REQUIREMENTS:
SIGNIFICANT TREES REMOVED: 2
1 - 24"-35" DBH: 6 REPLACEMENT TREES REQ'D
1 - 36"-47" DBH: 10 REPLACEMENT TREES REQ'D
REQUIRED REPLACEMENT: 16 TREES (16 PROVIDED)

PARKING LOT LANDSCAPING REQUIREMENTS:
SCREENING ADJACENT PUBLIC RIGHT-OF-WAY:
EAST BOUNDARY: TREES REQ'D 1 PER 30 LF & 5' LANDSCAPE BUFFER
215 LF / 30 LF = 7.16 TREES REQ'D (7 PROVIDED)
SCREENING ADJACENT RESIDENTIAL DISTRICT:
SOUTH BOUNDARY (R-2 DISTRICT): TREES REQ'D 1 PER 30 LF & 10' LANDSCAPE BUFFER
100 LF / 30 LF = 3.33 TREES REQ'D (3 PROVIDED)
PARKING LOT INTERIOR:
4 ISLANDS = 4 TREES REQ'D (4 PROVIDED)

TOTAL REQUIRED LANDSCAPING:

VARIETY OF TREE SPECIES REQUIRED: 25%
TREES TO BE FROM CITY-APPROVED TREE LIST
EXISTING TREES: 56 (579 DBH)
REQUIRED TREES: 43 TOTAL REQ'D (43 TOTAL PROVIDED)
REPLACEMENT TREES REQ'D: 16 (16 PROVIDED)
GREEN SPACE TREES REQ'D: 13 (13 PROVIDED)
EAST PARKING LOT SCREEN REQ'D: 7 (7 PROVIDED)
SOUTH PARKING LOT SCREEN REQ'D: 3 (3 PROVIDED)
INTERIOR PARKING LOT REQ'D: 4 (4 PROVIDED)
REQUIRED SHRUBS: 126 TOTAL REQ'D (126 PROVIDED)
GREEN SPACE SHRUBS REQ'D: 126 (126 PROVIDED)

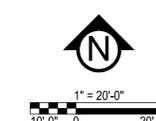
LEGEND:

- SHREDDED CYPRESS MULCH, SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- ROCK MAINTENANCE STRIP OVER FILTER FABRIC, DRESSER TRAP ROCK, #814, 3/8"-3/4" SIZE OVER FILTER FABRIC, SAMPLES REQUIRED, PROVIDE EDGING AS SHOWN ON PLAN
- SEED TYPE 1 - MNDOT 34-262 WET PRAIRIE, PER MNDOT SEEDING MANUAL SPECIFICATIONS (2014)

- PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- LANDSCAPE EDGING SHALL BE 4" WIDE ALUMINUM, COLOR BLACK.

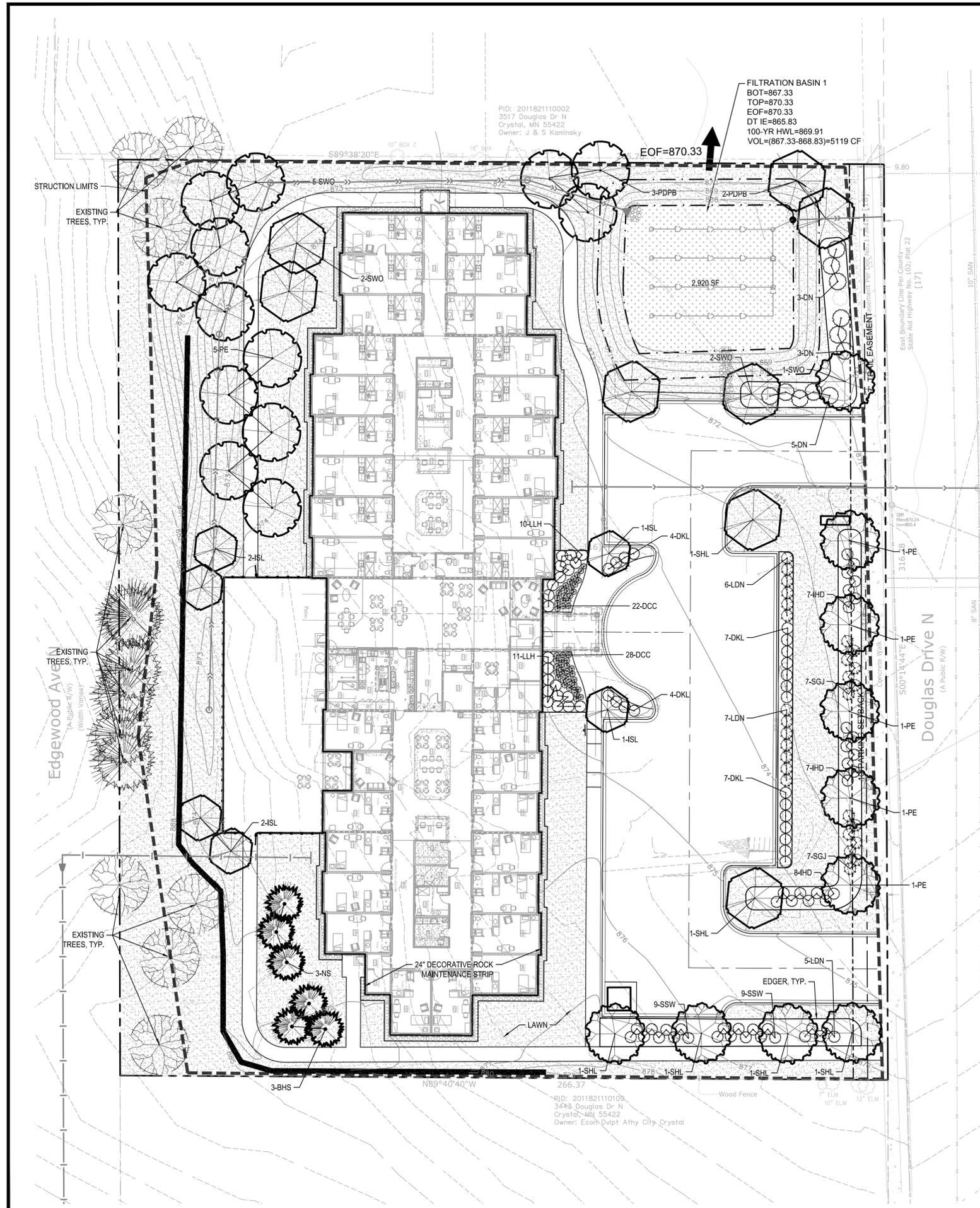


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LANDSCAPE PLAN

L1.0



PID: 2011821110002
3517 Douglas Dr N
Crystal, MN 55422
Owner: J & S Kominsky

FILTRATION BASIN 1
BOT=867.33
TOP=870.33
EOF=870.33
DT IE=865.83
100-YR HWL=869.91
VOL=(867.33-868.83)=5119 CF

PID: 2011821110109
3478 Douglas Dr N
Crystal, MN 55422
Owner: Econ-Dvpt Athy City Crystal

STRUCTURE LIMITS
EXISTING TREES, TYP.

EXISTING TREES, TYP.
(A Public R/W)
(With Variance)

EXISTING TREES, TYP.

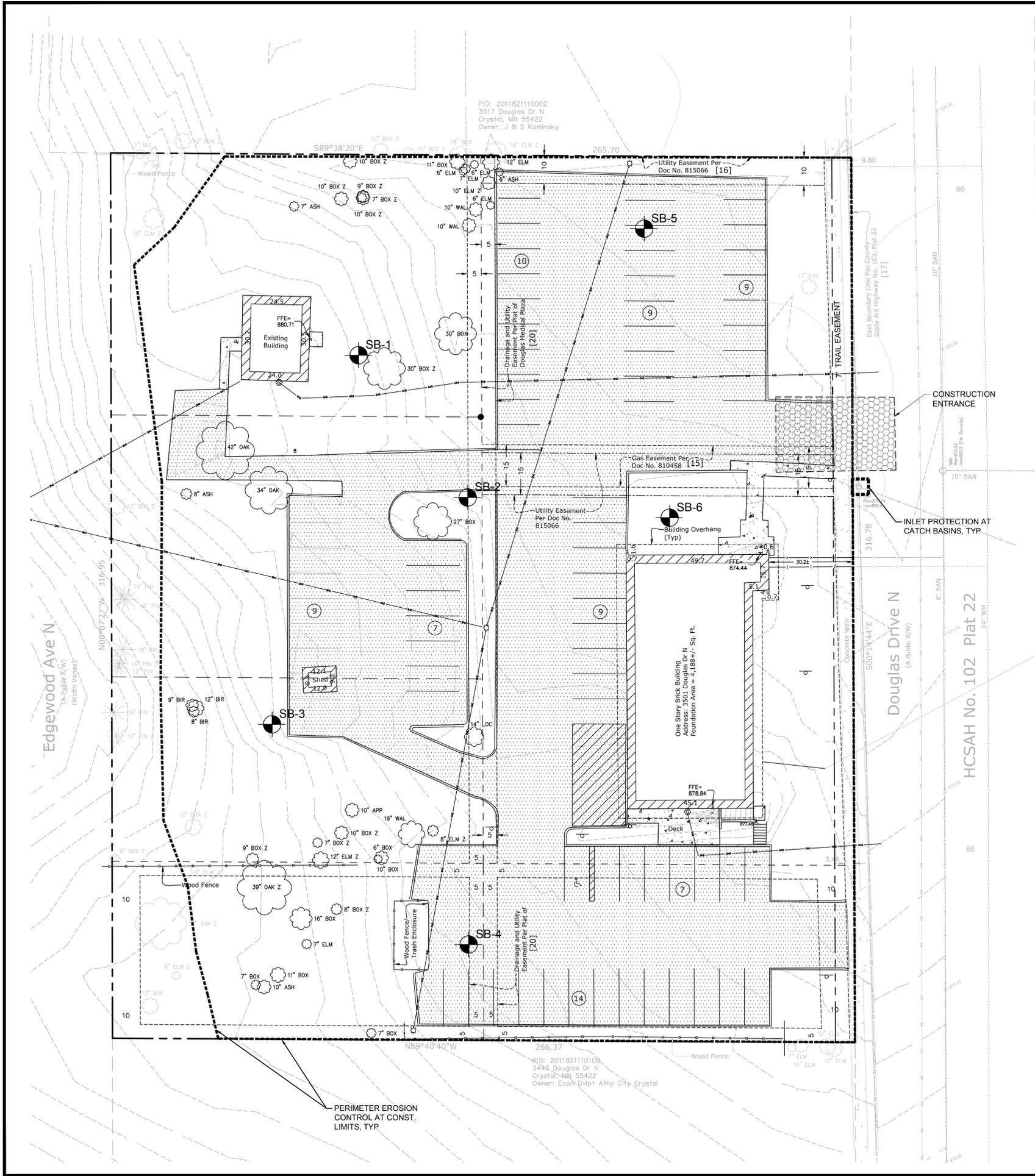
Edgewood Av
(A Public R/W)
(With Variance)

Douglas Drive N
(A Public R/W)

HCSAH No. 102 Plat 22

Wood Fence

10' ELM 12' ELM



SWPPP NOTES:

1. THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
2. SEE SHEETS SW1.0 - SW1.5 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
4. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

CITY OF CRYSTAL EROSION CONTROL NOTES:

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek
Matthew R. Pavlek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL

DATE	DESCRIPTION

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION

SWPPP - EXISTING CONDITIONS

SW1.0

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LEGEND:

- 1125 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 1137 --- 1.0' CONTOUR ELEVATION INTERVAL
- DRAINAGE ARROW
- SILT FENCE / BIOROLL - GRADING LIMIT
- INLET PROTECTION
- ▨ STABILIZED CONSTRUCTION ENTRANCE
- ▨ EROSION CONTROL BLANKET



Know what's below.
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1" = 20'-0"
10'-0" 0 20'-0"

GENERAL SWPPP REQUIREMENTS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 & MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS.
4. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
5. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
6. CLEAR AND GRUB REMAINDER OF SITE
7. STRIP AND STOCKPILE TOPSOIL
8. ROUGH GRADING OF SITE
9. STABILIZE DENuded AREAS AND STOCKPILES
10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
11. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
12. INSTALL STREET SECTION
13. INSTALL CURB AND GUTTER
14. BITUMINOUS ON STREETS
15. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
17. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
18. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SODLANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP.
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT.
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE).
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ON-SITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. CONTRACTOR OR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
 - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
 - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
 - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE

- WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES.
 7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
 8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.
 9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADE/LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CONTROL MAT THAT THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETE, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT DOES NOT CAUSE EROSION.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DEWATERING. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
 - a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
 - b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR

- c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
 - a. DATE AND TIME OF INSPECTIONS; AND
 - b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
 - c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
 - d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
 - e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON-SITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
 - f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
 - g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061. USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FLOOR RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPs DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS:
THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL, SEEDING, MULCHING & BLANKET.

- SEED
 - TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

- MULCH
 - IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

SLOPES

- 3:1 (HORIZ/VERT.) OR FLATTER MICH SHALL BE COVERED WITH MULCH
- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
- SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

TRAINING SECTION 21

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011
TOTAL TRAINING HOURS: 12
RE-CERTIFICATION: 3/16/2017 (8 HOURS), EXP. 5/31/2020

OWNER INFORMATION

OWNER:
HAMPTON COMPANIES
1824 BUEKLE ROAD
WHITE BEAR LAKE, MN 55110

CONTACT:

AREAS AND QUANTITIES:

SITE AREA CALCULATIONS	EXISTING CONDITION		PROPOSED CONDITION	
BUILDING COVERAGE	5,034 SF	6.0%	20,744 SF	24.6%
ALL PAVEMENTS	33,848 SF	40.2%	22,717 SF	27.0%
ALL NON-PAVEMENTS	45,411 SF	53.9%	40,832 SF	48.4%
TOTAL SITE AREA	84,293 SF	100.0%	84,293 SF	100.0%
IMPERVIOUS SURFACE				
EXISTING CONDITION	38,882 SF	46.1%		
PROPOSED CONDITION	43,461 SF	51.6%		
DIFFERENCE (EX. VS PROP.)	4,579 SF	5.4%		
EROSION CONTROL QUANTITIES				
DISTURBED AREA	77,650 SF			
SILT FENCE/BIO-ROLL	±1100 LF			
EROSION CONTROL BLANKET	0 SF			
INLET PROTECTION DEVICES	±6 EA			

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

CONTRACTOR:

SWPPP INSPECTOR TRAINING:

ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:
ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT
ATTACHMENT B: CONSTRUCTION STORMWATER INSPECTION CHECKLIST
ATTACHMENT C: MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS
ATTACHMENT D: STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.
ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS GREATER THAN 1.0 ACRES SO AN NPDES PERMIT IS REQUIRED AND NEEDS TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF AN EXISTING OFFICE AND SF RESIDENTIAL PROPERTY ADDING ONE ASSISTED HOUSING BUILDING. SITE, GRADING, UTILITY AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

NATIVE BUFFER NARRATIVE:

PRESERVING A 50' NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED AS PART OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

INFILTRATION NARRATIVE:

INFILTRATION IS NOT REQUIRED AS PART OF THE PROJECT BECAUSE PERMANENT STORM WATER MANAGEMENT IS NOT REQUIRED.

SOIL CONTAMINATION NARRATIVE:

SOILS ON-SITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED. AN MPCA SOILS ASSESSMENT WAS COMPLETED AND IT WAS DETERMINED THAT THIS SITE IS APPROPRIATE FOR INFILTRATION.

SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

THIS PROJECT IS WITHIN ONE MILE AND DISCHARGES TO BASSETT CREEK WHICH IS IDENTIFIED AS IMPAIRED WATER BODIES PER THE MPCA'S 303(D) IMPAIRED WATERS LIST. BASSETT CREEK IS IMPAIRED FOR FECAL COLIFORM, AND FISHES BIOASSESSMENTS. BECAUSE THESE WATERS ARE LOCATED WITHIN ONE MILE OF THE SITE, BMPs AS DEFINED IN THE NPDES PERMIT ITEMS 23.9 AND 23.10 APPLY. THESE ARE AS FOLLOWS:

1. DURING CONSTRUCTION:
 - A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN SECTION 14, MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME.

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

- PERMANENT SEED MIX
 - FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDER OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
 - AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 35-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
 - DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
 - MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.

