



2020 Development Review Application

City staff contact: Dan Olson
763-531-1142
dan.olson@crystalmn.gov
4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

1. Property Address for this application:

5160 West Broadway, Crystal, MN 55429

2. Property Identification Number (PID):

0911821240023

3. Applicant:

Name: Edward Farr Architects, Inc.			
Street: 7710 Golden Triangle Drive	City: Eden Prairie	State: MN	Zip: 55344
Telephone: 952.943.9660			
Email: e.farr@edfarrarch.com			

4. Property Owner:

- Same as the Applicant (if so, you don't need to complete this section)
 Different from the Applicant (complete this section)

Name: Water Sports Investments Llc.			
Street: 5160 West Broadway	City: Crystal	State: MN	Zip: 55429
Telephone: 763.533.9666			
Email: andy@waterskis.com			

5. Project name and description:

A 33,000 sf addition to an existing building.

6. Project contact (the applicant shall designate one contact person for the application):

Name: Ed Farr	Role in Project: Architect		
Company: Edward Farr Architects, Inc.			
Street: 7710 Golden Triangle Drive	City: Eden Prairie	State: MN	Zip: 55344
Business Telephone: 952.943.9660			
Email: e.farr@edfarrarch.com			

7. Additional design/engineering professional (if applicable):

Name: Aaron Cameron	Role in Project: Civil Engineer		
Company: HTPO			
Street: 7510 Market Place Drive	City: Eden Prairie	State: MN	Zip: 55344
Business Telephone: 952.737.4067			
Email: acameron@htpo.com			

8. Application type: A complete development review application includes the following:

- Completed and signed development review application form
- Completed and signed escrow form (if applicable - see list of application types below)
- Completed application checklist for each respective type of application (see list below)
- Payment of application fee for each respective type of application (see list below)

Type of application (check all that apply):	Application fee (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$210 + \$210 escrow
<input type="checkbox"/> Administrative Appeal	\$210
<input type="checkbox"/> Comprehensive Plan Amendment	\$630 + \$630 escrow
<input type="checkbox"/> Conditional Use Permit	\$630 + \$630 escrow [2]
<input type="checkbox"/> Lot consolidation	\$420 + \$420 escrow
<input type="checkbox"/> Rezoning to Planned Development	\$1,260 + \$1,260 escrow
<input checked="" type="checkbox"/> Site Plan	\$630 + \$315 escrow
<input type="checkbox"/> Subdivision	\$630 + \$62 per lot over 2, + \$630 escrow
<input type="checkbox"/> Vacation of a public street or easement	\$515 + \$515 escrow
<input type="checkbox"/> Variance	\$530 + \$265 escrow
<input type="checkbox"/> Zoning Certificate	\$105 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$630 + \$630 escrow
Total fee: \$ 945	

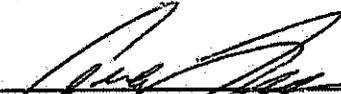
[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the review of documents associated with the application. For telecommunication towers, the escrow fee will also be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.

[2]: The fee for a telecommunication tower is \$2,000, plus a \$10,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

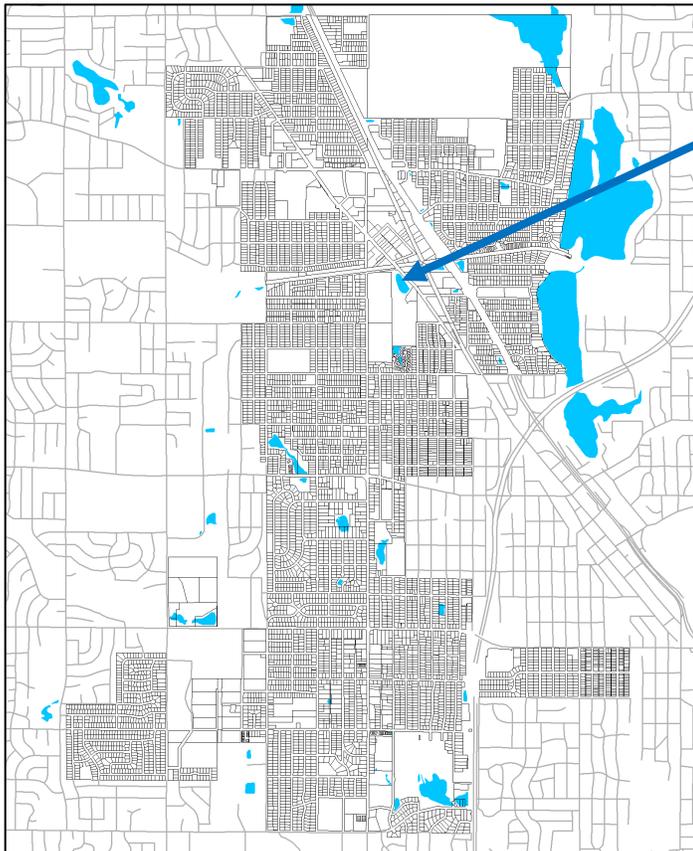
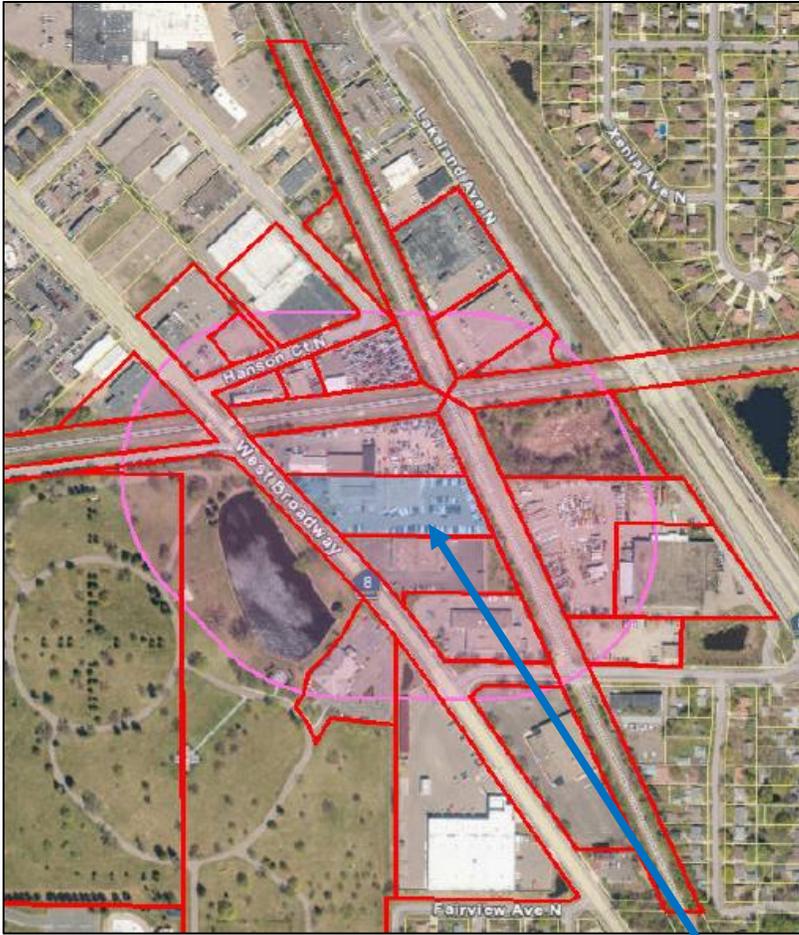
I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.


 _____ Date: 05/11/2020
 Signature of Applicant

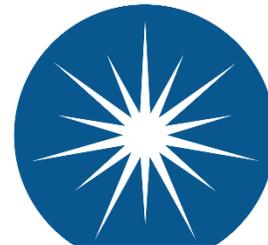

 _____ Date: 05/11/2020
 Signature of Property Owner (if different from Applicant)

FOR OFFICE USE ONLY:	Application # _____	Accounting # 0100.4418 Receipt # _____	Date Received _____
Acknowledgement letter sent	____/____/____	If application incomplete, was 60-day rule language included? _____	
Plan Comm hearing	____/____/____	City Council action	____/____/____ Approved? Yes ___ No ___ Other ___
NOTES: _____			

Site Location and Public Hearing Notice Mailing Map



5160 West Broadway Ave.



CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

CITY OF CRYSTAL
SITE PLAN REVIEW
5160 WEST BROADWAY AVENUE

PUBLIC HEARING NOTICE
7:00 P.M. ON MONDAY, JUNE 8, 2020
CRYSTAL CITY HALL (4141 DOUGLAS DR N) AND ZOOM VIDEO CONFERENCE

The Crystal Planning Commission will consider a Site Plan application to construct an approximately 32,000 square foot addition to the rear of the existing building at 5160 West Broadway Avenue (Midwest Water Sports location).

General summary of the proposal:

- The property owner, Water Sports Investments LLC, will continue to use the existing building as an office showroom selling boats and other water sports equipment.
- The proposed building addition will provide seasonal storage of boats owned by private parties and storage of products for sale. The construction of this building addition requires approval of a site plan application by the City Council.
- The property will have 33 parking spaces after the addition is constructed which meets the city's 27-space minimum requirement.
- The height of the building addition will be 58', which meets the city's 60' maximum height limit in the Industrial zoning district.

The Planning Commission will hold a public hearing on the Site Plan application at 7:00 p.m. on June 8, 2020 in the Council Chambers at Crystal City Hall.

To view the application including a detailed site plan:

- ▶ Visit Crystal City Hall during normal business hours, or
- ▶ Visit the 2020 Land Use Applications page on the city website, www.crystalmn.gov (the staff report to the Planning Commission will be available by June 5 on the same page of the website).

To speak directly to the Planning Commission on the proposal, you may:

- ▶ Attend the meeting via Zoom: <https://bit.ly/3cHFONr> (meeting ID is 838 2032 1215 and password is 414141) or call-in toll free at 888-475-4499, or
- ▶ Attend the public hearing in-person on Monday, June 8, 2020 at 7 p.m. at Crystal City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on June 8, 2020 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a site plan application to allow Water Sports Investments LLC to construct a building addition at 5160 West Broadway Avenue. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, June 16, 2020 at Crystal City Hall, 4141 Douglas Drive North. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids for handicap persons are available upon request at least 96 hours in advance. Please call the City Clerk at 763-531-1145 to make arrangements. Deaf and Hard of Hearing callers should contact the Minnesota Relay Service at 800-627-3529 V/TTY or call 711 to be connected to a TTY.

Narrative for Midwest Watersports Storage Addition

5160 West Broadway Crystal, MN

May 12, 2020

The Parties

Owner: Water Sports Investments Llc
Architect: Edward Farr Architects, Inc.
**Civil Engineer &
Landscape Architect** HTPO, Inc.

Site and Zoning Information

Lot Area: 2.2 acres
Zoning: I Industrial
Min. Building Setbacks: Front = 10 ft, Rear = 10 ft, Side = 10 ft. (all setbacks met or exceeded)
Min. Parking Setbacks: All yards = 5 ft. (no proposed new parking)
Existing Building Size: approx. 24,235 sq ft
Proposed Addition Size: approx. 32,254 sq ft
Max. Building Height: lower of 60 ft or 5 stories
Proposed Building Height: 58 ft, single story
Min Greenspace Coverage 10% (no new impervious surface area added)

Company Overview and Project Purpose

Midwest Water Sports is a dealer and authorized service center for MasterCraft Boats with a focus on wake surfing, waterskiing, and Wakeboarding. They have the area's largest selection of wakeboards, surf boards, water skis, and accessories. The company purchased the Crystal, MN building in 2004.

An increase in demand for seasonal boat storage is the reason for the addition. There is currently outdoor boat storage in this same rear yard location. Vertical Boat Storage Racks are being purchased that allow stacking boats 4 rows high, thereby providing the additional capacity needed to satisfy market demand. The boat storage will now be fully enclosed, not an outside storage use anymore. No other building modifications are being proposed.

Application

Site Plan Review on 2.2 acres for a 32,254 sq ft (+/-) boat storage addition to the primary building.

Facility Description and Design:

The addition will be a single-story structure clad in pre-finished ribbed metal panels. The metal panels will be a soft light-toned neutral color to blend in with the existing building color for consistency and minimal visual impact. The existing building is constructed with light grey concrete block, using a split-face and fluted split face block textures, with a blue stripe accent.

The height of the addition will be slightly lower than the maximum 60 ft allowed in this district.

The addition meets all building setbacks. The front yard setback doesn't change since the addition is in the rear yard; the addition is set back 194 ft from the West Broadway street exposure so it will be mainly out of view from the public way. The site and rear yard setbacks exceed the 10 foot minimum.

No rooftop HVAC equipment is needed; all HVAC will be internal to the building.

Vehicular circulation patterns in and out of the site will not change. In the fall, boats on trailers will be pulled straight into this storage building. The boat is lifted off its trailer by a hoist; then the driver makes a U-turn inside the building and exits through the same overhead door. There should be no reason to back into this building with the boat. In the spring, the customer can pull straight into the building with his empty trailer, have the hoist set the boat down on the trailer, make the U-turn again and pull out safely.

On-site parking for customers and employees will continue to meet zoning ordinance requirements. There are 33 stalls remaining, including two accessible stalls. See below for parking calculations.

Signage:

No new signage is needed or proposed.

Parking:

The facility will continue to have enough parking to satisfy zoning requirements as well as their forecasted operations. Per ord. 520.15 Subd. 2 (b) (2), if a proposed expansion increases the floor area larger than 50%, then the entire site shall come into compliance.

Per ord. 520.15 Subd. 6, Table 11, the minimum number of stalls for 'Vehicle, Boat or Recreational Sales or Rental' uses is 4 spaces plus 1 per employee, plus any display spaces. In that same Table 11, the minimum number of stalls for 'Warehouse' use is 4 spaces plus 1 per 3,000 sq ft. So, the minimum number of spaces is:

Boat & Recreational Sales use = 4 + 8 (employees) =	12 stalls
+ Warehouse use = 4 + (32,254 sq ft / 3,000 sq ft) = 14.7, say <u>15 stalls</u>	
Total Required =	27 stalls
Total Provided =	33 stalls, ok (leaves excess for display)

Landscaping and Screening:

Deciduous overstory trees along West Broadway and a mix of evergreen and deciduous landscape foundation plantings for the building expansion are included to satisfy landscaping code requirements. Foundation plantings along the existing building near West Broadway will remain.

Sanitary Sewer and Storm Water:

Sanitary sewer service does not change.

Storm water currently discharges off site into the large pond across W. Broadway in Welcome Park. We are limiting our impervious surface area to pre-development conditions; however, the < 1 acre of disturbed area is being treated in accordance with storm water regulations of both the City of Crystal and Shingle Creek Watershed. The project is proposing to install a sump structure as well as reduce the amount of impervious surface of the project site to improve the water quality and rate control of the site. A summary of those regulation requirements is attached in the stormwater management memo.

Site Lighting:

The existing site is lit via wall pack light fixtures on the south and west facades. We are relocating one wall pack light from the south façade to the new overhead door entry on the addition. See Site Lighting Plan. We are also installing a small exit light above the new exit door in the NE corner per building code.

FAA Height limits to Crystal Airport:

Application has been made to the FAA (filing # 2020-AGL-9321-OE) using FAA Form 7460-1 regarding the proximity to Crystal Airport. The property is approx. 4000 ft (3/4 mile) from the end of the runway. We have received informal approval from the FAA stating that our building height will be approved. They have asked for follow-up information regarding any temporary construction crane heights that may be taller than the building; we are in process of collecting that information and submitting to FAA. We will forward the FAA's acceptance notice upon receipt.

End of Narrative

SEC. 9

TWP. 118N

NE 1/4-
NW 1/4

NW 1/4-
NW 1/4

RNG. 21W

BURLINGTON NORTHERN RAILROAD

SE 1/4-
NW 1/4

SW 1/4-
NW 1/4

WEST BROADWAY

BLOCK

EXISTING 1 STORY BUILDING
5140 W BROADWAY AVE

LOT 2

A D D I T I O N

LEGEND

- SECTION
- PROPERTY BOUNDARY
- PROPERTY LINE
- RIGHT OF WAY
- CENTER LINE
- EASEMENT
- SETBACK
- BUILDING
- PAVEMENT
- GRAVEL
- CONCRETE
- BITUMINOUS / ASPHALT
- FLOW LINE (FL)
- BACK OF CURB (TC)
- ROAD CENTER LINE
- PAVING STRIPES
- RAILROAD TRACKS
- CHAIN-LINK FENCE
- RETAINING WALL
- DRIP LINE
- ELEC LINE
- OHU OVERHEAD UTILITY
- GAS GAS MAIN
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- STORM DRAIN TILE
- SIGN
- HANDICAP SYMBOL
- BOLDARD
- AIR CONDITIONER
- POWER POLE
- GUYWIRE
- TRANSFORMER
- ELECTRIC BOX
- CABLE TV BOX
- TELEPHONE BOX
- GAS METER
- GAS VALVE
- HYDRANT
- PIV
- WATER METER
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- CATCH BASIN
- BEEHIVE CATCH BASIN
- SANITARY MANHOLE
- POST
- FOUND IRON MONUMENT
- FFE FINISHED FLOOR ELEVATION
- TNH TOP NUT OF HYDRANT
- CIP CAST IRON PIPE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- DIP DUCTILE IRON PIPE
- HDPE HIGH-DENSITY POLYETHYLENE
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- VCP VITRIFIED CLAY PIPE
- VSP VITRIFIED SEWER PIPE

VICINITY MAP



nts

DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, Crystal Securities 2nd Addition, according to the recorded plat thereof, Hennepin County, Minnesota.

General Survey Notes

- All distances are in US survey feet.
- Bearings are based on the Hennepin County Coordinate System (NAD83-86 Adj).
- This survey was prepared for the purpose of showing the existing conditions for site improvements.
- Elevations are based on MN/DOT Geodetic Station CORVALI MN 053, which has an elevation of 877.666 feet (NAD83) and 2735 AG, which has an elevation of 880.999 feet (NAD83). Benchmarks for the site are the top nut of hydrants (TNH); #1 North of site on the West side of West Broadway Avenue, which has an elevation of 875.72; #2 South of the site West of West Broadway Avenue, which has an elevation of 878.32.
- The subsurface utility information in this plan is Utility Quality Level "C". This Utility Quality Level was determined according to the guidelines of CI-ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."
- There may be easements of record that are not shown hereon.
- Due to numerous portable items such as boats and storage items, there may be additional improvements that are not shown.

FILE: P:\2020\20-008_Midwest Water Sports - Crystal\CAD\DWG\REF\20-008-X-SUR.dwg LAYOUT: 1.dwg

SCALE: 1" = 40' DATE/TIME: Mar 31, 2020 - 10:45am USER: tomson XREF(s): 20-008-X-GEN-TBL.k

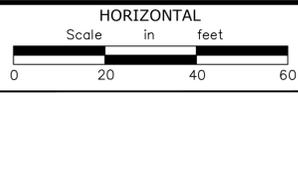
NO.	DATE	DRAWN	DESIGN	CHECKED	ISSUES / REVISIONS
	03-31-2020	JMB		PAT	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Trinity L. Johnson
Surveyor
LIC. NO. 48087 DATE: 03-31-2020

HTPO Engineering • Surveying
Landscape Architecture

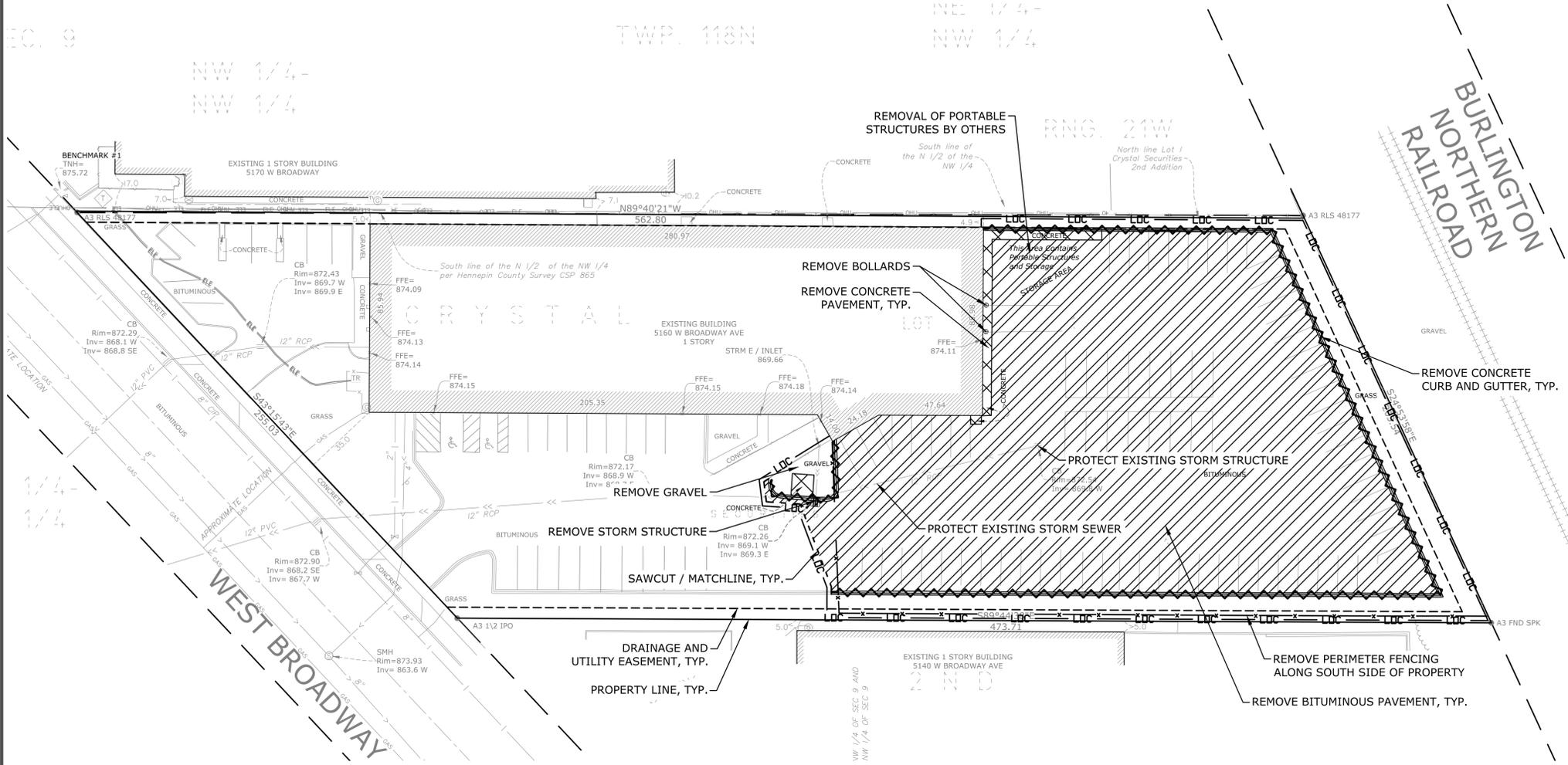
HANSEN THORP PELLIN OLSON, Inc.
7510 Market Place Drive • Eden Prairie, MN 55344
952-829-0700 • 952-829-7806 fax
PROJECT NO. 20-008



EXISTING CONDITIONS SURVEY

Midwest Water Sports
CRYSTAL, MN

SHEET 1 OF 1



LEGEND

	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE CURB AND GUTTER
	SAWCUT

- NOTES**
1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL, APPLICABLE SECTIONS OF THE 2018 CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS AND APPLICABLE SECTIONS OF THE 2018 MnDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 2. CONTRACTOR SHALL DETERMINE LOCATION OF EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PRESERVING THESE. ANY REPAIRS NECESSARY DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. BEFORE DIGGING CALL: GOPHER STATE ONE CALL (651) 454-0002.
 3. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL "D". THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
 4. EXISTING PAVEMENT AND CURB SHALL BE PRESERVED WHEREVER POSSIBLE. CREATE SMOOTH TRANSITIONS BETWEEN EXISTING AND NEW BITUMINOUS. ALL ASPHALT SHALL BE SAWCUT, NO JACKHAMMERING.
 5. RESTORE ALL DISTURBED AREAS, INCLUDING PAVEMENT, TO EXISTING CONDITIONS OR BETTER.

PRELIMINARY - NOT FOR CONSTRUCTION

Minnesota
CALL BEFORE YOU DIG!
 MINNESOTA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER AT LEAST TWO (2) BUSINESS DAYS BUT NOT MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.
GOPHER STATE ONE CALL
 www.gopherstateonecall.org
 1-800-252-1166

SCALE IN FEET
 0 30 60 90

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Aaron Cameron
 Date 05/12/2020 Reg. No. 56592
 Civil Engineer

EDWARD FARR ARCHITECTS INC
 7710 Golden Triangle Drive Eden Prairie, Minnesota 55344 Tel: 952.943.9660 www.edfarrarch.com

Hansen Thorp Pellinen Olson, Inc.
 7510 Market Place Drive • Eden Prairie, MN 55344
 952-929-0700 • 952-929-7600 fax

PROJECT NO. 20-008.1
 Client

MIDWEST WATER SPORTS

Project
MIDWEST WATER SPORTS EXPANSION

Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

Issued For
 Site Plan Application

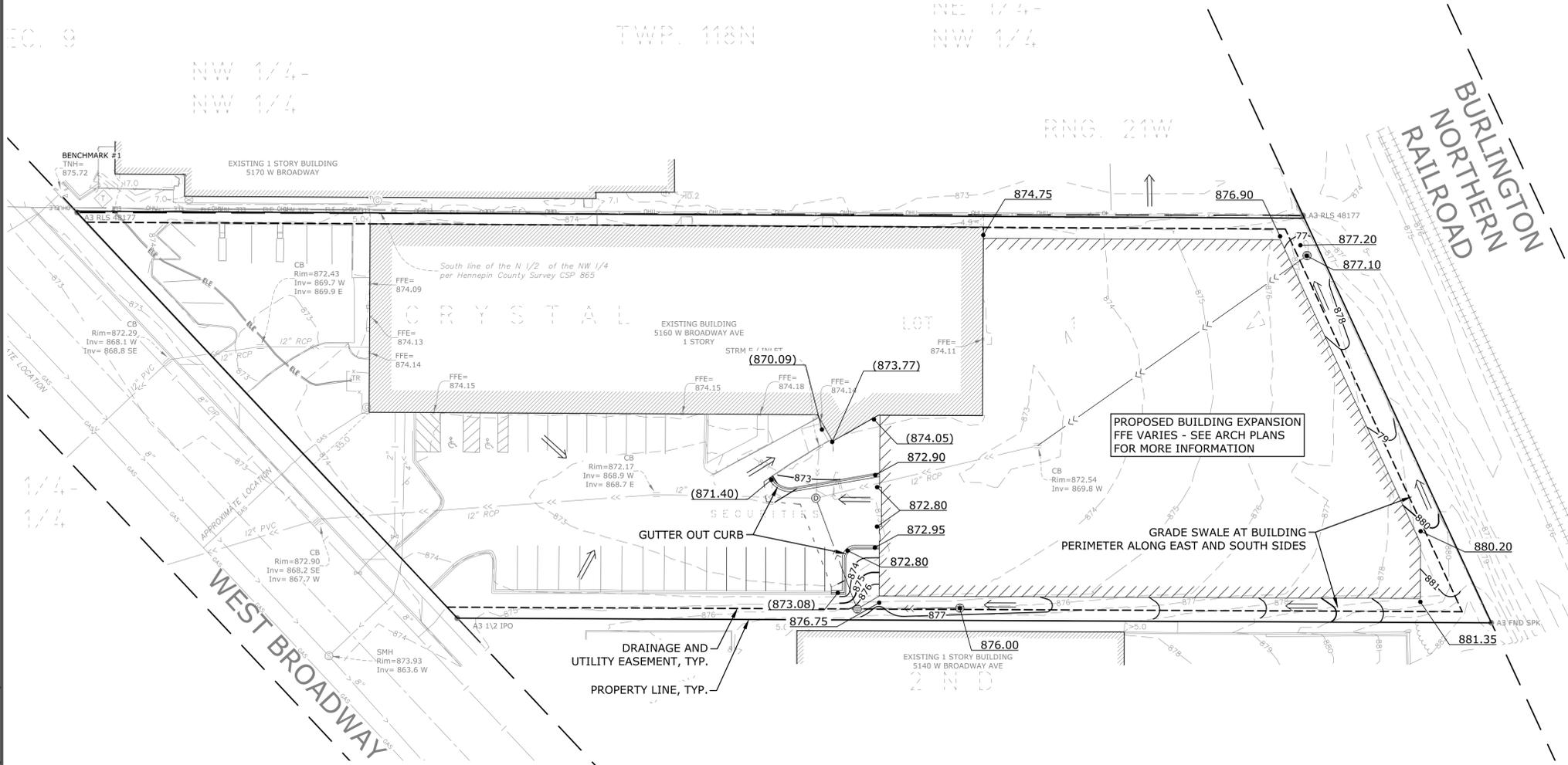
Date
 05/12/2020

Sheet Title
SITE REMOVALS PLAN

Project Number
 20.011

Sheet Number
 C1.0

FILE: P:\2020\20-008 - Midwest Water Sports - Crystal\CAD\DWG\PLANS\SHEETS\CIVIL\20-008_CIVR\RWL.dwg LAYOUT: 001
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- LEGEND**
- 875 PROPOSED CONTOUR
 - 872.80 SPOT ELEVATION
 - (873.08) SPOT ELEVATION (MATCH EXISTING)
 - DRAINAGE FLOW

- NOTES**
1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL, APPLICABLE SECTIONS OF THE 2018 CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS AND APPLICABLE SECTIONS OF THE 2018 MnDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 2. CONTRACTOR SHALL DETERMINE LOCATION OF EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PRESERVING THESE. ANY REPAIRS NECESSARY DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. BEFORE DIGGING CALL: GOPHER STATE ONE CALL (651) 454-0002.
 3. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL "D". THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
 4. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND TOPOGRAPHY PRIOR TO COMMENCING GRADING OPERATIONS. IF DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS SURVEY AND ACTUAL SITE CONDITIONS, NOTIFY ENGINEER IMMEDIATELY.
 5. RESTORE ALL DISTURBED AREAS, INCLUDING PAVEMENT, TO EXISTING CONDITIONS OR BETTER.
 6. ALL SPOT ELEVATIONS ARE TO TOP OF FINISHED GRADE OR GUTTERLINE ELEVATION UNLESS OTHERWISE SPECIFIED.

- BENCHMARKS**
1. BEARINGS ARE BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, (NAD83-86 ADJ.)
 2. ELEVATIONS ARE BASED ON MN/DOT GEODETIC STATION CORVALI MN 053, WHICH HAS AN ELEVATION OF 877.666 FEET (NAD83) AND 27356 AG, WHICH HAS AN ELEVATION OF 880.999 FEET (NAD 83). BENCHMARKS FOR THE SITE ARE THE TOP OF HYDRANTS (TNH): #1 NORTH OF STIE ON THE WEST SIDE OF WEST BROADWAY AVENUE, EL=875.72; #2 SOUTH OF THE SITE WEST OF WEST BROADWAY AVENUE, EL=878.32.

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GOPHER STATE ONE CALL
 www.gopherstateonecall.org
 1-800-252-1166

SCALE IN FEET
 0 30 60 90

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Aaron Cameron
 Date 05/12/2020 Reg. No. 56592
 Civil Engineer

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 7510 Market Place Drive • Eden Prairie, MN 55344 952.929.0700 • 952.929.7900 fax

PROJECT NO. 20-008.1
 Client

MIDWEST WATER SPORTS

Project
MIDWEST WATER SPORTS EXPANSION

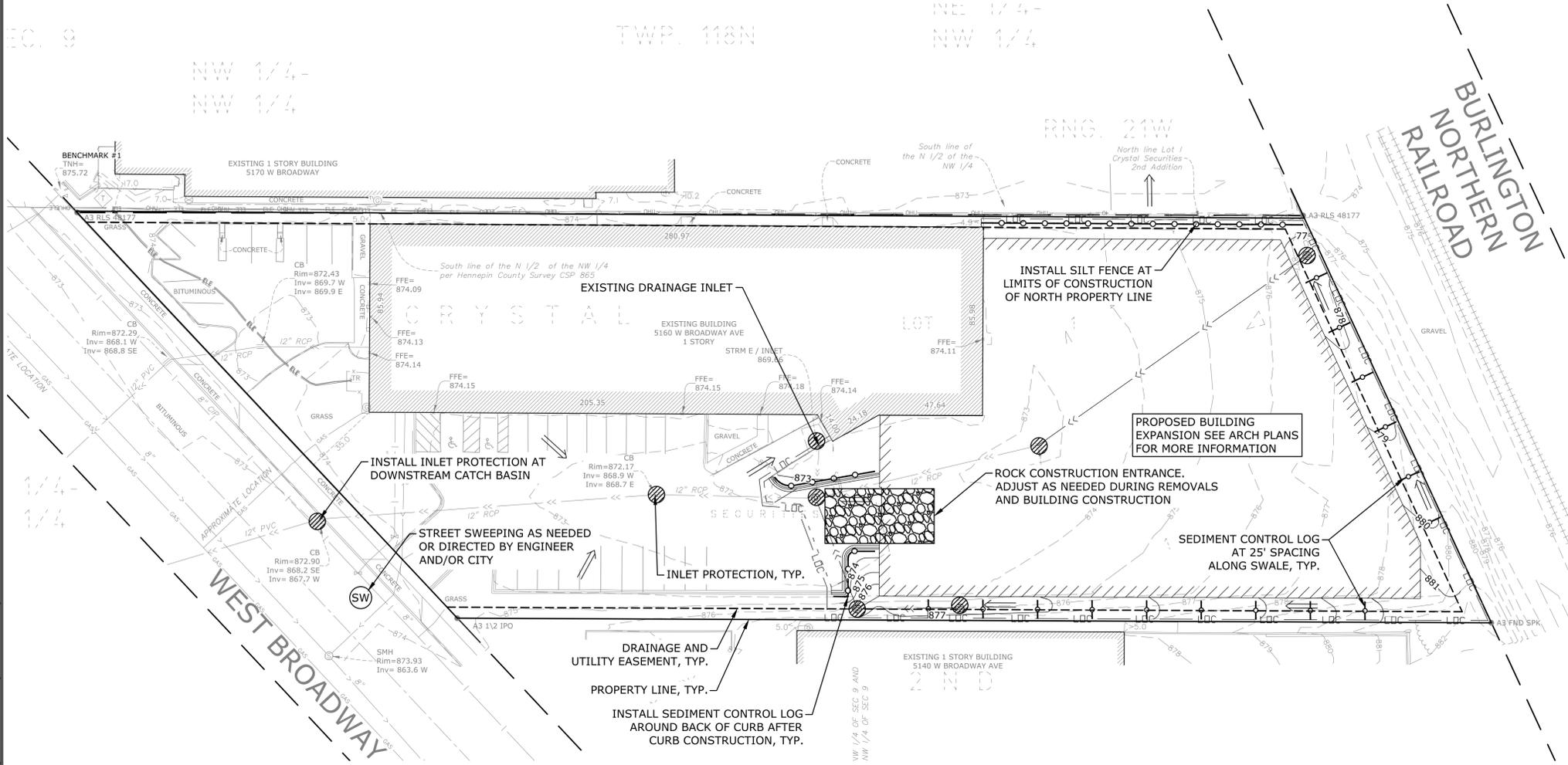
Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

Issued For Date
 Site Plan Application 05/12/2020

Sheet Title
GRADING PLAN

Project Number Sheet Number
 20.011 C1.2

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LEGEND

- SEDIMENT CONTROL LOG / SILT FENCE
- INLET PROTECTION
- STREET SWEEPING
- ROCK CONSTRUCTION ENTRANCE
- DRAINAGE FLOW

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Aaron Cameron
 Date 05/12/2020 Reg. No. 56592
 Civil Engineer

NOTES

1. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. (HAY BALES ARE NOT AN ACCEPTABLE PERIMETER CONTROL).
2. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION EXIT OR APPROVED EQUAL AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE. USE A GEOTEXTILE FABRIC BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW, UNLESS INSTALLED ON PAVEMENT.
3. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED BY ENGINEER AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BLOWN TO ADJACENT PROPERTIES.
4. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS ARE REQUIRED IN UNDISTURBED AREAS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. STAKED SILT FENCE OR OTHER APPROVED BMP'S IN DISTURBED AREAS NOT SUBJECT TO PUBLIC VEHICLE TRAFFIC MAY BE ACCEPTABLE. NOTE: HAY BALES OR FABRIC WRAPPING THE GRATES ARE NOT EFFECTIVE OR AN ACCEPTABLE FORM OF INLET PROTECTION.
5. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT FENCE BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
6. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
7. TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH-GRADED, AND ALL DENUDED AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND, AND RUNNING WATER WITHIN 7 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED.
8. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION ESTABLISHMENT IS 70% COVER. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES UNTIL 70% ESTABLISHED COVER IS ACHIEVED.
9. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATE CONCRETE MIXING/WASHOUT LOCATIONS IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM SEWER.
10. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); EMBANKMENT OF PONDS, BASINS, AND TRAPS; AND WITHIN FOURTEEN (14) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.

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 952.929.2700 • 952.929.7808 fax

PROJECT NO. 20-008.1

MIDWEST WATER SPORTS

Project
MIDWEST WATER SPORTS EXPANSION

Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

Issued For Date
 Site Plan Application 05/12/2020

Sheet Title
EROSION AND SEDIMENT CONTROL PLAN

Project Number Sheet Number
20.011 C1.4

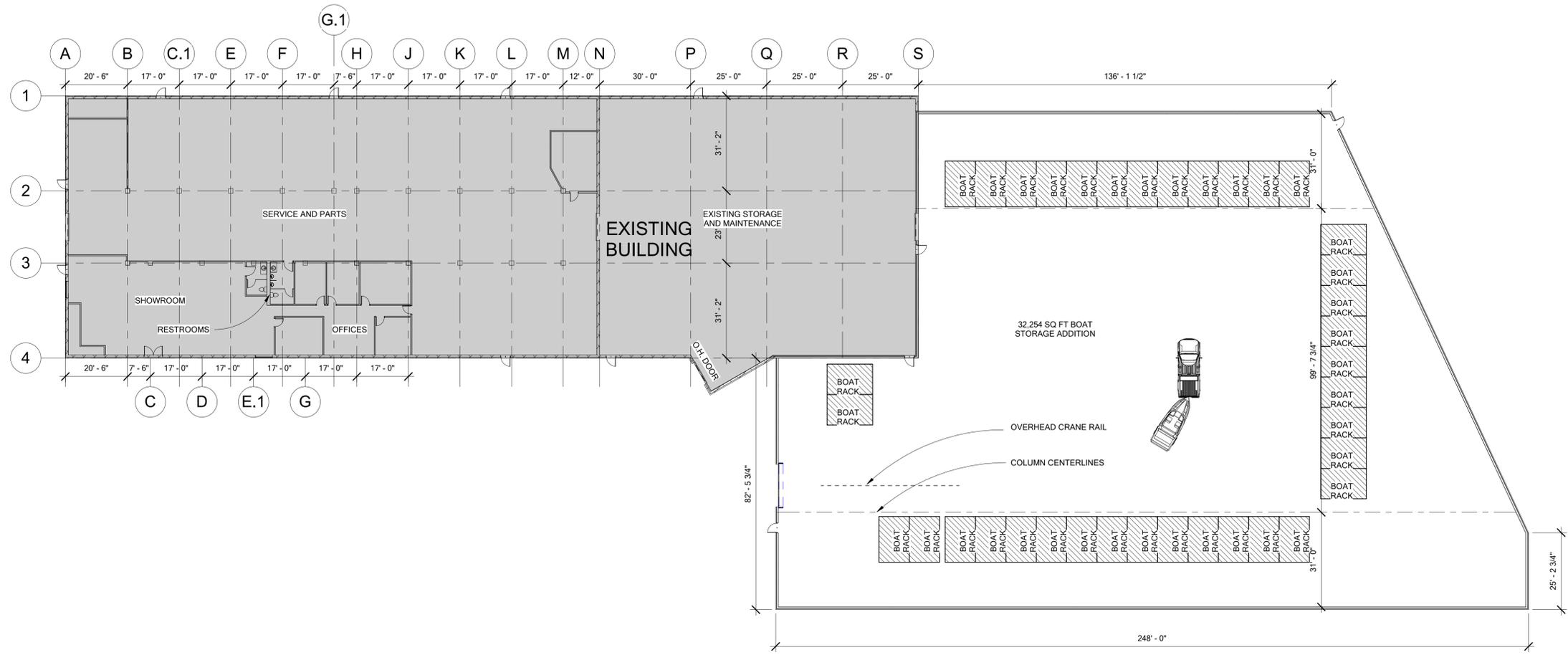
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Edward A. Farr
Date _____ Reg. No. 16362

Project Manager
XXX

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Client
MIDWEST WATER SPORTS

Project
MIDWEST WATER SPORTS EXPANSION

Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

Issued For
SITE PLAN REVIEW

Date
5/12/2020

Sheet Title
FLOOR PLAN

Project Number
20.011

Sheet Number
A2.1



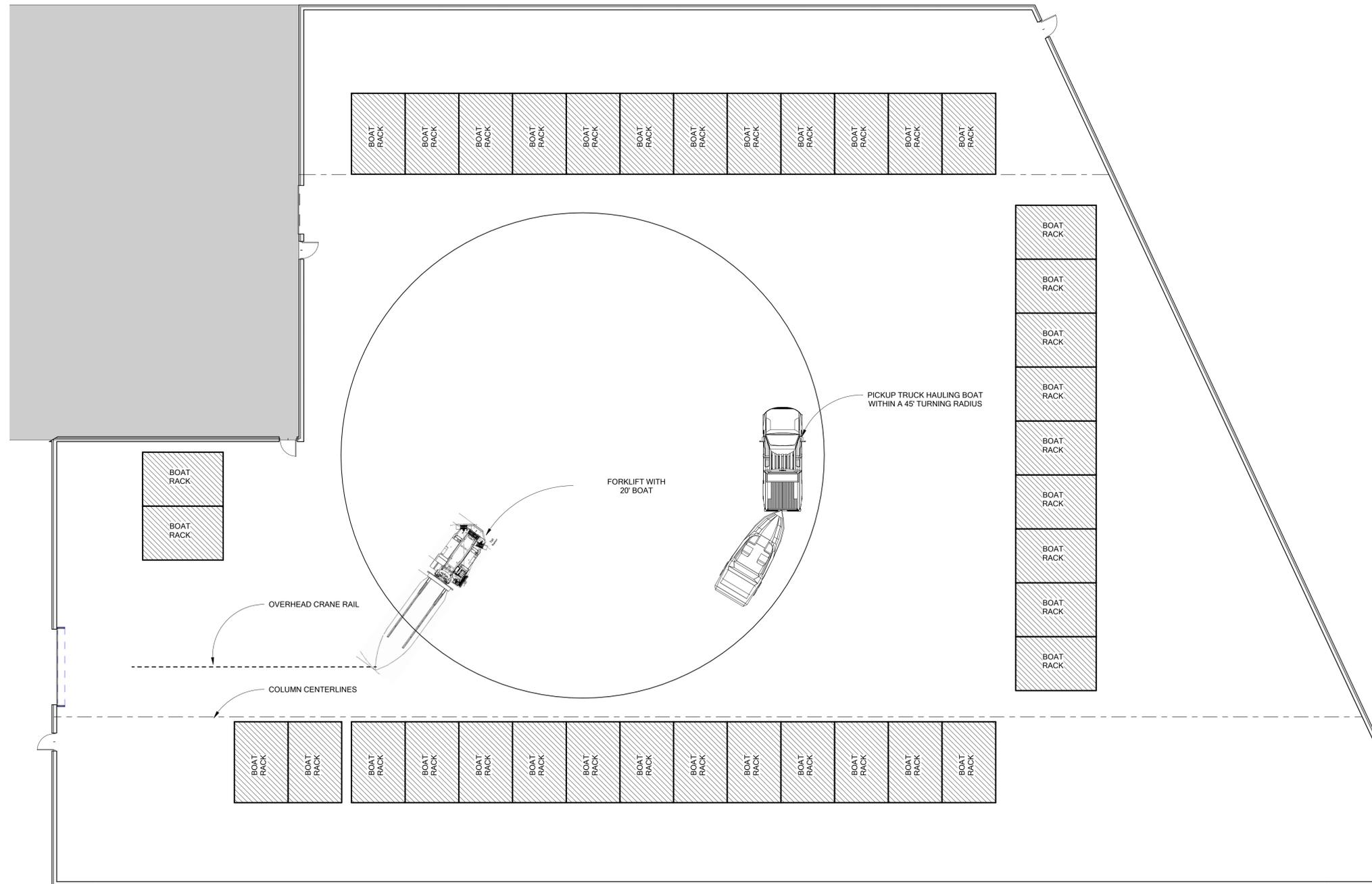
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1 FLOOR 1 OVERALL
A2.1 SCALE: 1" = 20'-0"

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Project Manager
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Client
MIDWEST WATER SPORTS

Project
MIDWEST WATER SPORTS EXPANSION

Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

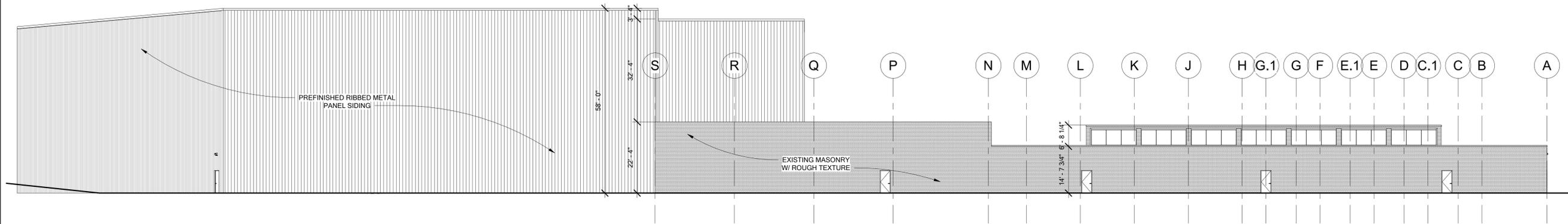
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SITE PLAN REVIEW 5/12/2020

Sheet Title
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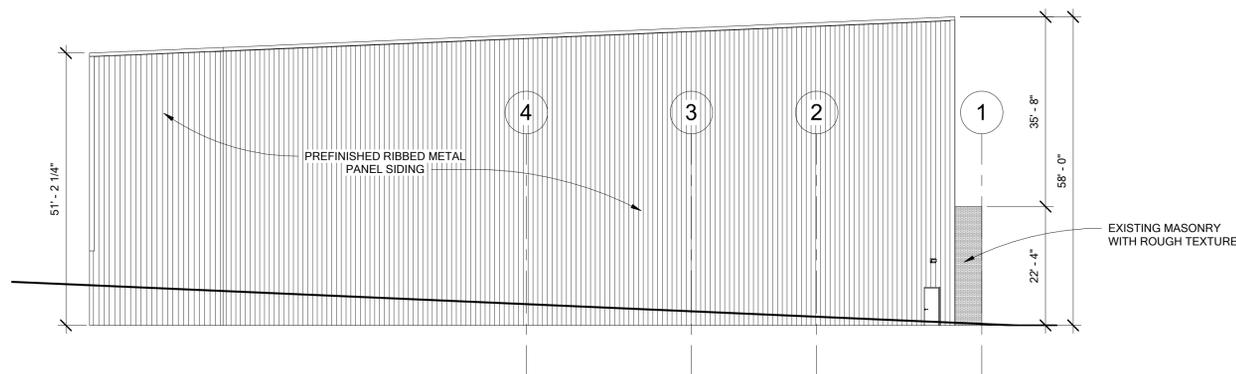
Project Number Sheet Number
20.011 A2.2

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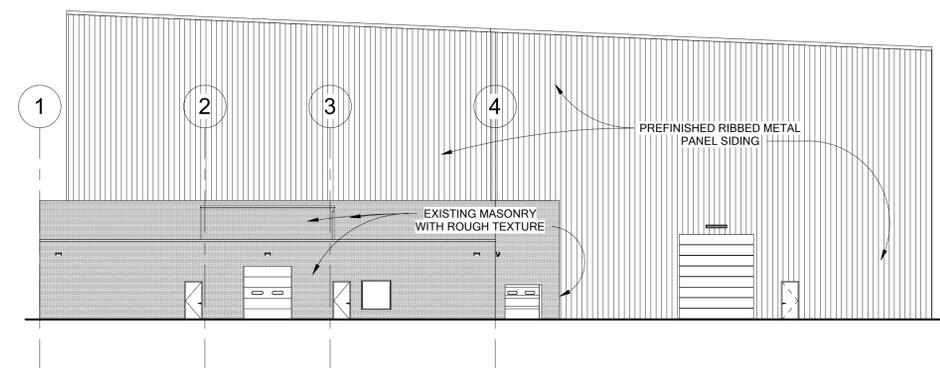
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 Date _____ Reg. No. 16362
 Project Manager
 XXX
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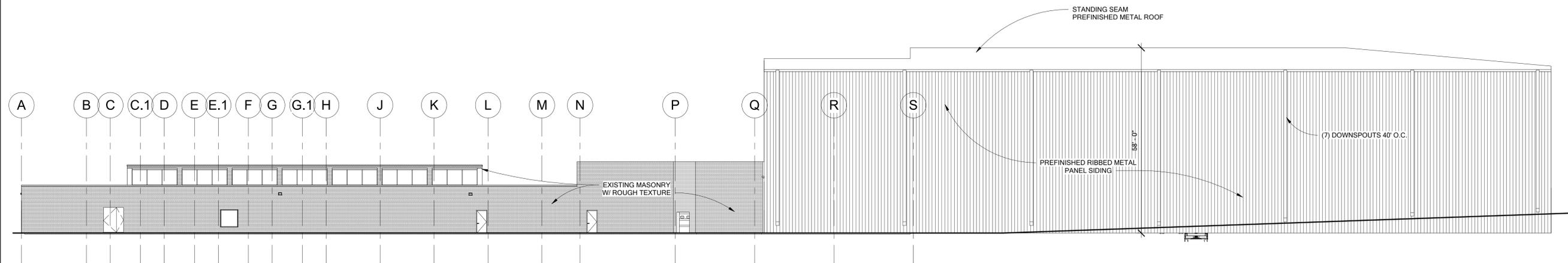
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2 EAST
 A5.1 SCALE: 1/16" = 1'-0"



3 WEST
 A5.1 SCALE: 1/16" = 1'-0"



4 SOUTH
 A5.1 SCALE: 1/16" = 1'-0"

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Client
MIDWEST WATER SPORTS

Project
 MIDWEST WATER SPORTS EXPANSION

Location
 5160 W BROADWAY AVE, CRYSTAL MN 55429

Issued For
 SITE PLAN REVIEW

Date
 5/12/2020

Sheet Title
 EXTERIOR ELEVATIONS

Project Number
 20.011

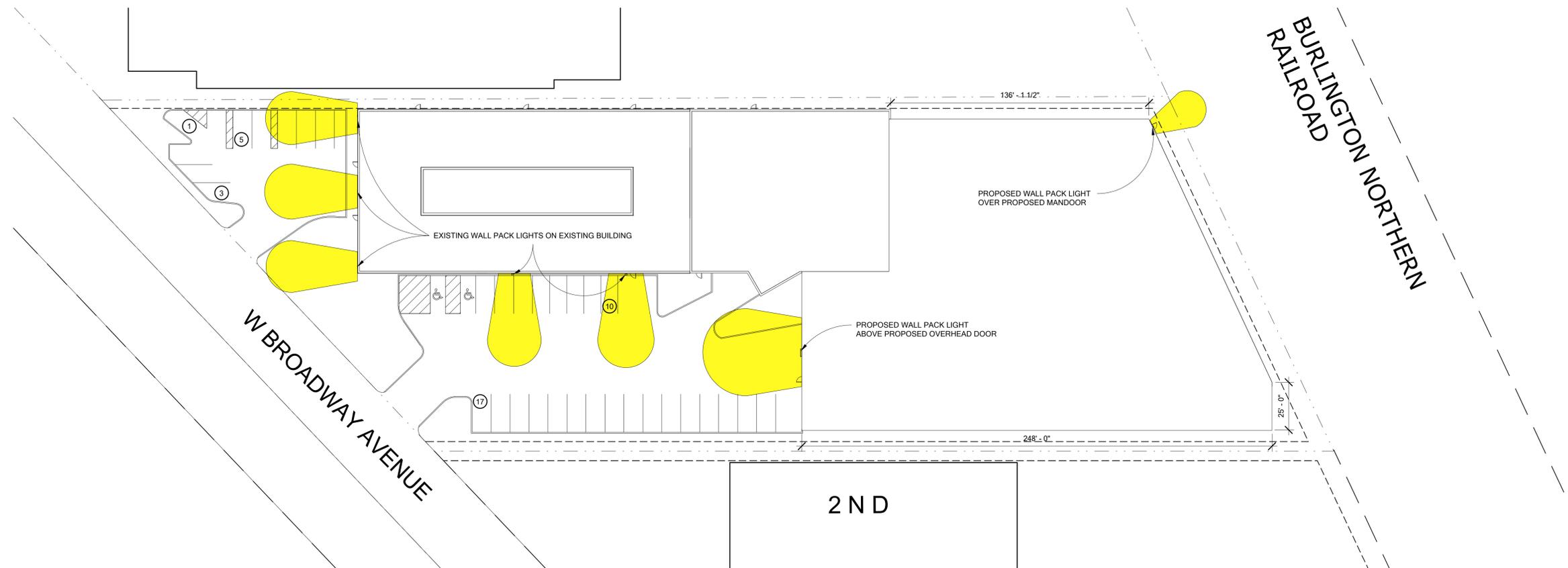
Sheet Number
 A5.1

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1
A6.1 EXTERIOR LIGHTING PLAN
SCALE: 1" = 30'-0"

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Project
MIDWEST WATER SPORTS EXPANSION

Location
5160 W BROADWAY AVE, CRYSTAL MN 55429

<u>Issued For</u>	<u>Date</u>
SITE PLAN REVIEW	5/12/2020

Sheet Title
EXTERIOR LIGHTING PLAN

<u>Project Number</u>	<u>Sheet Number</u>
20.011	A6.1