



PLANNING COMMISSION STAFF REPORT

Proposed Specialized Care Facility

FROM: Dan Olson, City Planner

TO: Planning Commission (for January 13 Meeting)

DATE: January 8, 2020

RE: PUBLIC HEARING – Rezoning to Planned Development for a proposed specialized care facility at 3501 Douglas Drive North (Application Number 2020-02)

A. INTRODUCTION

Hampton Companies is proposing to construct a new specialized care facility on property they are proposing to purchase at 3501 Douglas Drive North, which contains six separately platted lots. The portion of the property facing Douglas Drive is zoned Commercial (C), while the rear of the property is zoned Low Density Residential (R-1). Specialized care facilities are a permitted use in the Commercial zoning district. The applicant is proposing to consolidate the lots into one parcel and rezone the property to Planned Development (C - PD). Notice of the January 13 public hearing was published in the Sun Post on January 2, mailed to the same property owners who received the neighborhood notice (see attachment A), and posted to the Valley Place and Bassett Creek neighborhoods on Nextdoor.

Staff Report Attachments:

- A. Site location and neighborhood notice mailing map
- B. Existing zoning map
- C. 2040 Comprehensive Plan planned land use map
- D. Applicant's project narrative
- E. Site plan (23 sheets)

Staff Report Organization

Section	Page Number(s)	Information Provided
B (Background)	Pages 2-3	<ul style="list-style-type: none"> Neighborhood meeting Existing use Surrounding land uses Conformance to Comprehensive Plan
C (Proposed Specialized Care Facility)	Pages 3-6	<ul style="list-style-type: none"> Proposed use Facility operational characteristics and requirements Facility site plan elements
D (Rezoning to Planned Development)	Page 6	<ul style="list-style-type: none"> Rezoning to C-PD
E (Requested Action)	Page 7	<ul style="list-style-type: none"> Requested Planning Commission action Approval conditions

B. BACKGROUND

Neighborhood meeting

The applicant held a neighborhood meeting on October 7, 2019, which was attended by ten area residents, three City Council members, three Planning Commission members, the city planner, and the city manager. The purpose of the meeting was to provide information on the proposed project to property owners near the facility. Attendees asked questions about how Hampton will operate the facility and types of residents the facility will serve.

Existing Use

The site contains two existing buildings, with an associated surface parking lot:

- 3501 Douglas Dr N – The property contains an existing 8,300 square foot (approximately 4,000 square feet per floor) office building constructed in 1965.
- 3505 Douglas Dr N - The property contains a single-family home, constructed in 1948, which is currently being rented out for residential purposes.

Surrounding Land Uses

The following are the existing zoning districts and land uses surrounding Hampton’s proposed site:

- North: Directly north of the subject property is vacant land zoned Low Density Residential (R-1) and guided as “Commercial” in the Comprehensive Plan. Directly north of this vacant property across Bassett Creek is a commercial building with an associated surface parking lot zoned Commercial.

- East – Across Douglas Drive are single-family homes zoned R-1 and an eight-unit residential condominium building zoned Medium Density Residential (R-2).
- West – Across the unimproved Edgewood Avenue right-of-way is a mixture of vacant lots and single-family homes zoned R-1.
- South – Directly south of the existing office building is a vacant property owned by the city’s Economic Development Authority (EDA) that is zoned Commercial. South of the EDA property is an eight-unit townhome development that is zoned R-2.

Conformance to Comprehensive Plan

According to the city’s 2040 Comprehensive Plan, the site has two designations on the planned land use map (attachment C):

Commercial: The portion of the site facing Douglas Drive has a commercial designation, which is described as “retail, offices, restaurants, and some automobile-oriented businesses (on certain corridors designated in the city’s unified development code)”.

Medium density residential: The portion of the property behind the existing office building has this residential designation.

According to the Comprehensive Plan, the site is also designated as a redevelopment area called “Area D”. This area extends along Douglas Drive from 27th to 36th Avenues. The plan does not identify any specific redevelopment standards for Area D.

C. PROPOSED SPECIALIZED CARE FACILITY

Proposed Use

The proposed uses for the site are found in the table below. Specialized care facilities are defined in the city’s unified development code (UDC) as:

Any facility where the primary function is the provision, on a continuing basis, of nursing services and health-related services for treatment and in-patient care, such as nursing homes, assisted living facilities, memory care facilities, housing with services establishments and hospices. This does not include senior housing or the residence of any individual who cares for another family member.

Address	Proposed use
3501 Douglas Dr N	The existing office building and associated parking lot will be demolished.
NEW 3501 Douglas Dr N	The applicant is proposing to construct a new one-story, 28’ tall, 21,000 square foot specialized care facility.
3505 Douglas Dr N	The single-family home will be demolished.

Facility Operational Characteristics and Requirements

Attachments D and E describe the proposed assisted living and memory care facility. The table below provides a summary of the different government entities that will regulate this facility.

Government entity	How facility is classified	Relevant regulations	Summary of regulations
City of Crystal – Planning	Specialized care facility	Unified Development Code (UDC)	Zoning requirements such as parking, building setbacks, and landscaping
City of Crystal – Building Inspections	Most likely Institutional (I-2), but Hampton will confirm this when the building permit is submitted.	State Building Code	City enforces building and fire code regulations for the construction of Hampton’s facility. After construction staff recommends that Hampton be required to obtain a rental license with an annual property maintenance inspection.
MN Dept. of Health	Hampton is licensed as a Comprehensive Care Provider; facility would be registered as Housing with Services	State Statute 144D	The license requirement provides for periodic review of Hampton’s programs. The State registers the facility but does not inspect it.

The applicant has provided details about the day-to-day operations of the proposed facility in attachment D. The applicant is licensed by the State of Minnesota as a Comprehensive Care Provider, which requires state oversight of the programs offered by the applicant.

Facility Site Plan Elements

The properties included in the Planned Development consists of six platted lots. The applicant will submit a lot consolidation application that will combine these lots into one parcel. According to the UDC, a lot consolidation application is approved by the City Council without the need for a public hearing. The following are the notable site plan elements for the proposed building:

- Building setbacks. The proposed building meets setback requirements in the proposed underlying Commercial district:

- Front property line: 96' (requirement is 10')
- South property line: 14.5' (requirement is 10')
- North property line: 10' (requirement is 10')
- Rear (west) property line: 66' (requirement is 10')

The proposed building is not located in a drainage or utility easement.

- Parking. The applicant is proposing to remove the existing parking lot, which contains 75 parking spaces, and replace it with a new parking lot. The number of required spaces for the proposed building is 10, and the number of spaces provided in the new parking lot is 25.
- Stormwater management and erosion control measures. The applicant has provided a stormwater management plan, which provides for a stormwater infiltration basin north of the proposed parking lot. Due to the scope of the project, the stormwater plan is subject to review and approval by the Bassett Creek Watershed Management Commission. This review and approval has been made a condition of approval of the rezoning to C-PD. The percentage of impervious surface on the property will increase from 46% to 52% (the maximum coverage is 85% for the commercial zoning district). During building construction, the city will require erosion control techniques to be used on-site including silt fences, inlet protection, and rock construction entrances.
- Utilities. The proposed building will connect with existing and proposed water and sanitary sewer mains. It will have two water connections; an existing one in Douglas Drive and a new connection in the Edgewood Avenue right-of-way. This will provide two alternate sources of water for this health care facility. Existing overhead utilities are located along Douglas Drive and along the west side of the property. These utilities will be located in drainage and utility easements that are dedicated with the new lot consolidation plat. If those lines are relocated or extended, then the lines and extensions must be buried underground. New private utility services to the proposed building, such as Xcel Energy, Century Link and Comcast, will be buried underground.
- Access and circulation. The city's Public Works department and the West Metro Fire Rescue District staff have reviewed this traffic circulation plan and found it adequate to meet vehicle movement into and within the site, including fire trucks.
- Building elevations. The proposed major exterior building material is lap siding, with cultured stone as an accent material. These materials meet the city's requirements. A rendering of the proposed building is attachment E.
- Landscaping. The landscape plan shows 43 existing trees to be removed to accommodate the proposed building. The city's UDC requires that the applicant document the reason for any trees to be removed over 12" in diameter, with certain trees allowed to be removed without the need for replacement. Sheet C1.0 of attachment E ("removals and tree protection plan") does not provide this documentation. Therefore staff is unable to determine if the number of replacement trees meets UDC requirements. Staff recommends as a condition of approval for

the rezoning that the applicant provide this documentation before the building permit is issued.

The plan calls for 47 new trees to be planted: “northern catalpa”, “swamp white oak”, “coffee tree”, “American sycamore”, “redbud”, serviceberry”, “black hills spruce”, “red pine”, “Norway spruce”, and “Douglas fir”. The applicant proposes to plant four varieties of shrubs, including those that will screen the proposed building foundation from street view.

- Screening. There is an existing dumpster enclosure on the property, which the applicant will replace with a new enclosure. The applicant is proposing an outdoor recreational area for the residents on the west side of the building. This area will be screened and secured using a combination of landscaping and decorative black fencing.
- Exterior Lighting. There are three existing light poles in the parking lot. These light poles will be replaced with two new light poles in the new parking lot. There will be five exterior lighting fixtures on the proposed building. This lighting meets the city’s requirements.
- Pedestrian connections. There is an existing sidewalk along Douglas Drive that allows for pedestrian connections to the proposed building near the southern property line.
- Signs. A monument sign is proposed facing Douglas Drive. The applicant must receive sign permit approval before installing that sign, or any building signage.

D. REZONING TO PLANNED DEVELOPMENT (C - PD)

The applicant is requesting that the consolidated properties be rezoned to Planned Development (C - PD), which allows some flexibility in zoning requirements when planning campus-type land uses. The underlying zoning for the property would be Commercial.

The proposed development is 1.89 acres in size. The minimum lot size for a PD is 2 acres, but the UDC provides an exception to this requirement if at least one of three criteria are met. The relevant criteria that is met by this development is as follows:

Criteria: The property is located in a transitional area between different land use categories or it is located on an arterial street as defined in the Comprehensive Plan.

Staff response: **As described in section B of this staff report, Hampton’s site is located in Area D, which is a redevelopment area transitioning some of the properties facing Douglas from a low or medium density residential use to a higher density or commercial use. In addition Douglas Drive is defined as a minor arterial street in the Comprehensive Plan.**

E. REQUESTED ACTION

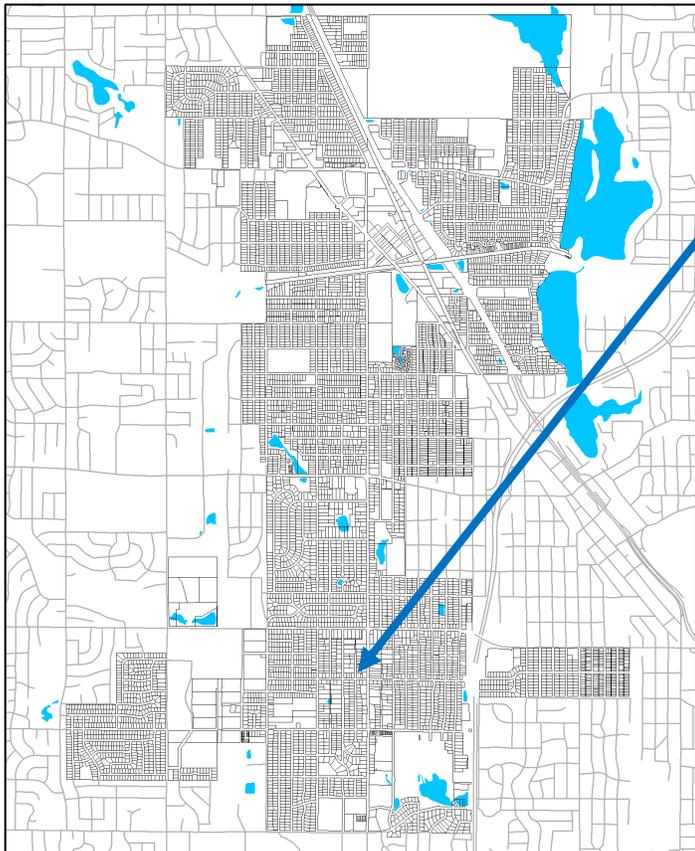
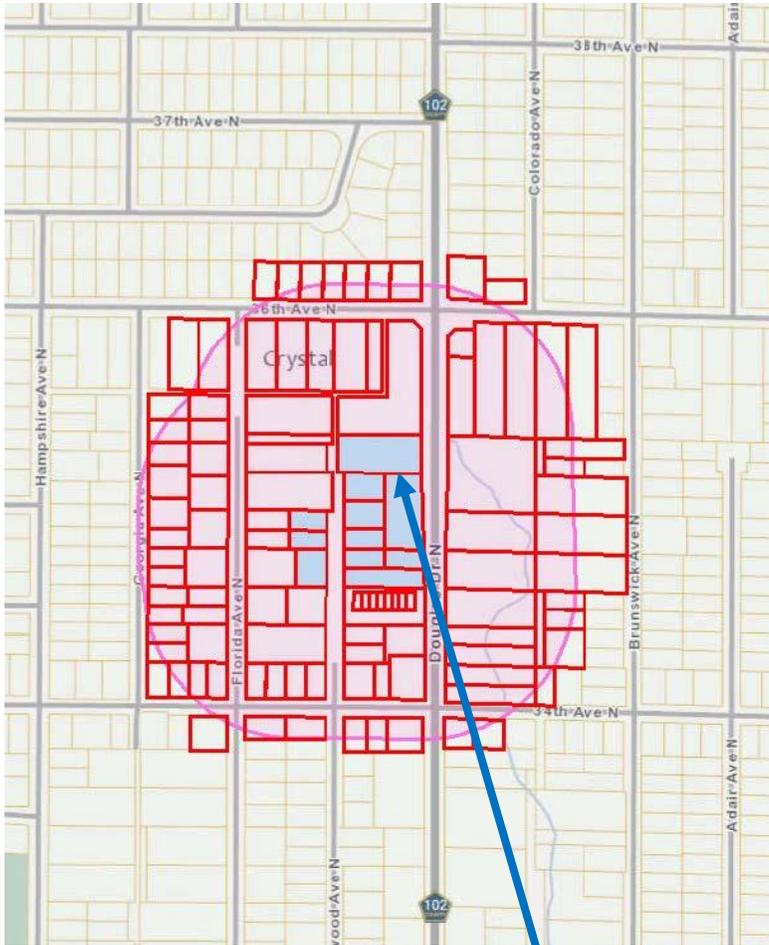
The Planning Commission is being asked to make a recommendation to the City Council to either deny or approve the rezoning to Planned Development for the addition of a specialized care facility at 3501 Douglas Drive North. This recommendation should include findings of fact either for or against the proposal. The Commission may reference the findings for approval in sections B, C, and D, above. Staff recommends approval of the rezoning to Planned Development with the following conditions of approval:

1. Site Plan. The development shall be constructed according to the site plan in attachment E. Prior to disturbing the site, the applicant shall:
 - a. Receive approval by the City Council of lot consolidation and easement vacation applications to combine the applicant's six properties at 3449, 3501, and 3505 Douglas Drive and 3442, 3456, and 3500 Edgewood Avenue into one parcel, vacate drainage and utility easements, and provide new easements on the final plat document.
 - b. Receive approval of the stormwater management plan by the Bassett Creek Watershed Management Commission.
 - c. Sign a site improvement agreement with the city and provide an escrow to guarantee installation of the parking lot, infiltration basin, and landscaping plan.
 - d. Provide documentation on sheets C1.0 and L1.0 of the reason for the removal of any trees over 12" in diameter. The applicant must demonstrate that the number of replacement trees meets UDC requirements.
2. Rental licensing and inspections. Because the facility will not be inspected by the state or other agency, a city rental license and inspections are required. Before Hampton receives a certificate of occupancy from the city for the specialized care facility, they shall secure a rental license from the city and renew this license annually as required by the city. The required rental licensing shall be the same as for a 32-unit multiple-family apartment dwelling which includes an inspection to verify that the facility meets the property maintenance regulations of Crystal City Code Section 425, as may be amended by the City Council.
3. Overhead utilities. If utility lines are installed, relocated or extended, the lines shall be buried underground. New private utilities, such as Xcel Energy, Center Point Energy, or Comcast shall be buried underground.

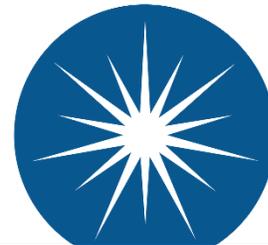
City Council action of the first reading of the ordinance rezoning the property to C-PD is anticipated on January 21, 2020. If the Council approves first reading, then second reading of the rezoning ordinance would be considered at a future regularly scheduled Council meeting in which the lot consolidation and easement vacation requests will also be considered.

Site Location and Neighborhood Notice Mailing Map

Attachment A



3501 Douglas Dr. N

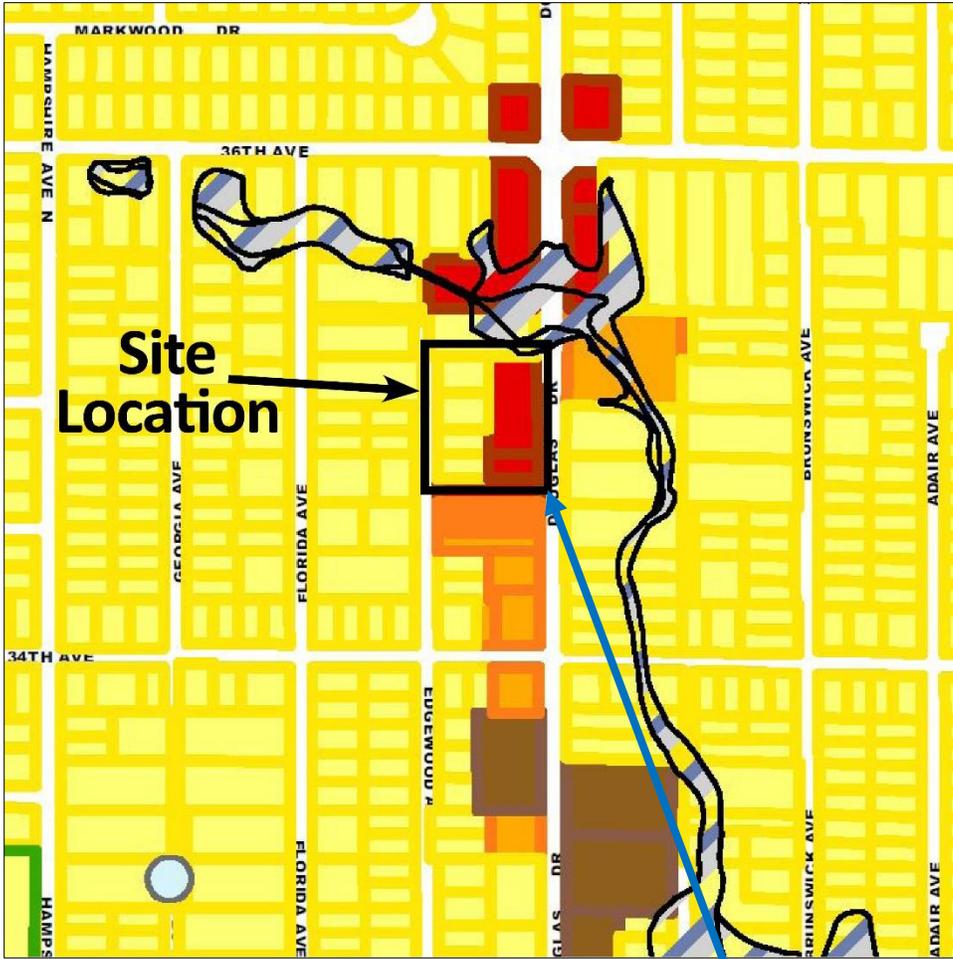


CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

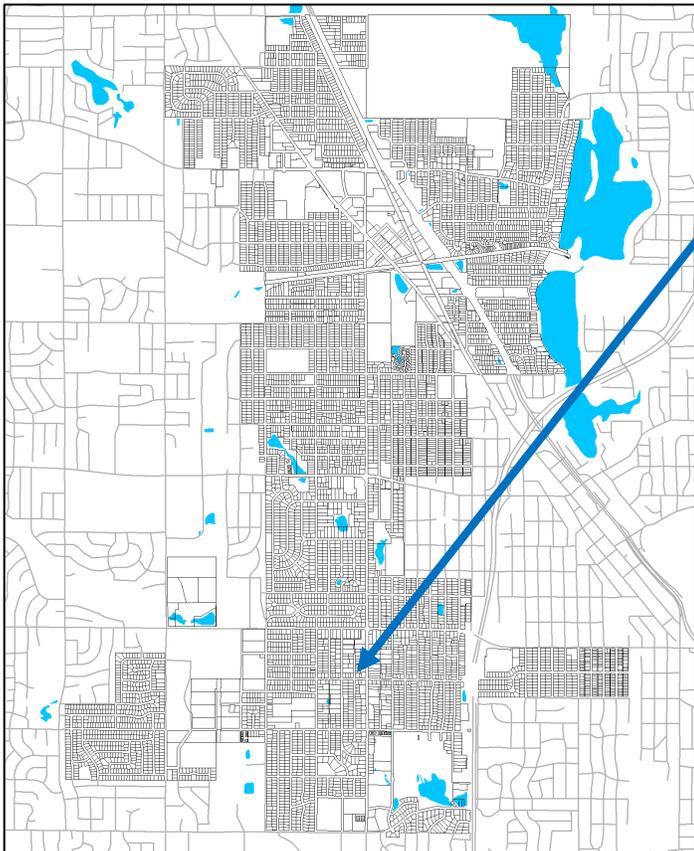
Zoning Map

Attachment B



ZONES:

-  R-1 LOW DENSITY RESIDENTIAL
-  R-2 MEDIUM DENSITY RESIDENTIAL
-  R-3 HIGH DENSITY RESIDENTIAL
-  C - COMMERCIAL
-  I - INDUSTRIAL
-  AP - AIRPORT DISTRICT



3501 Douglas Dr. N

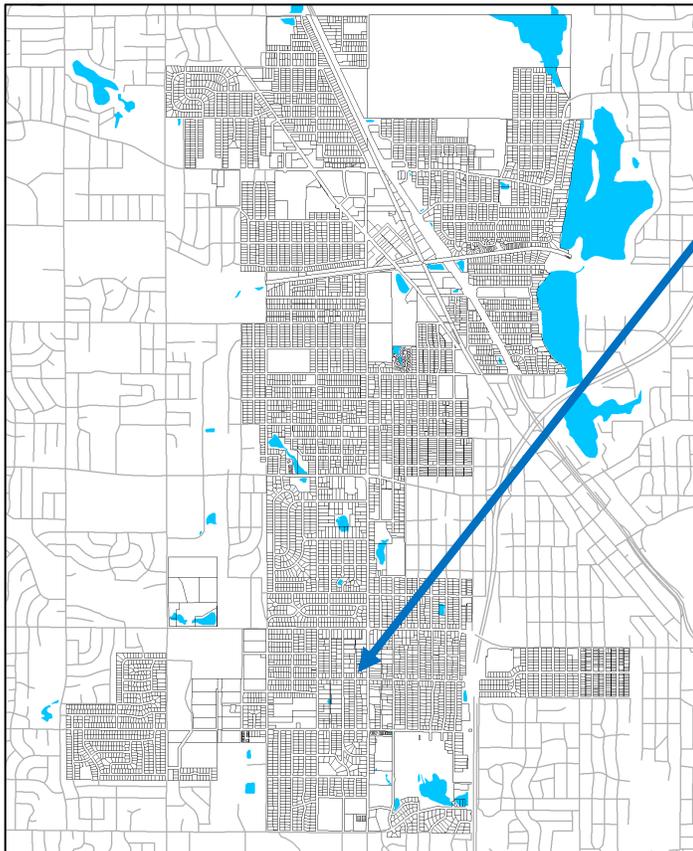
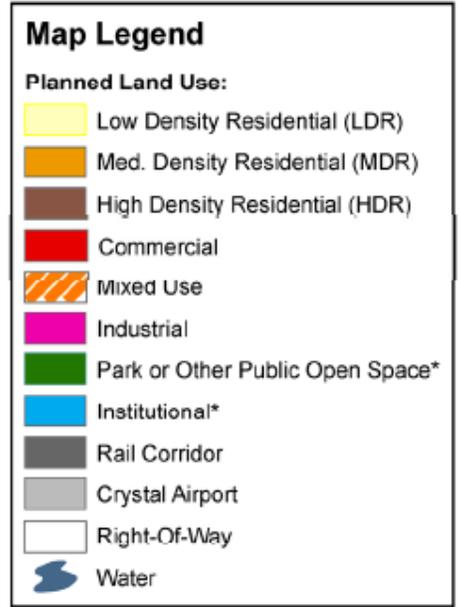
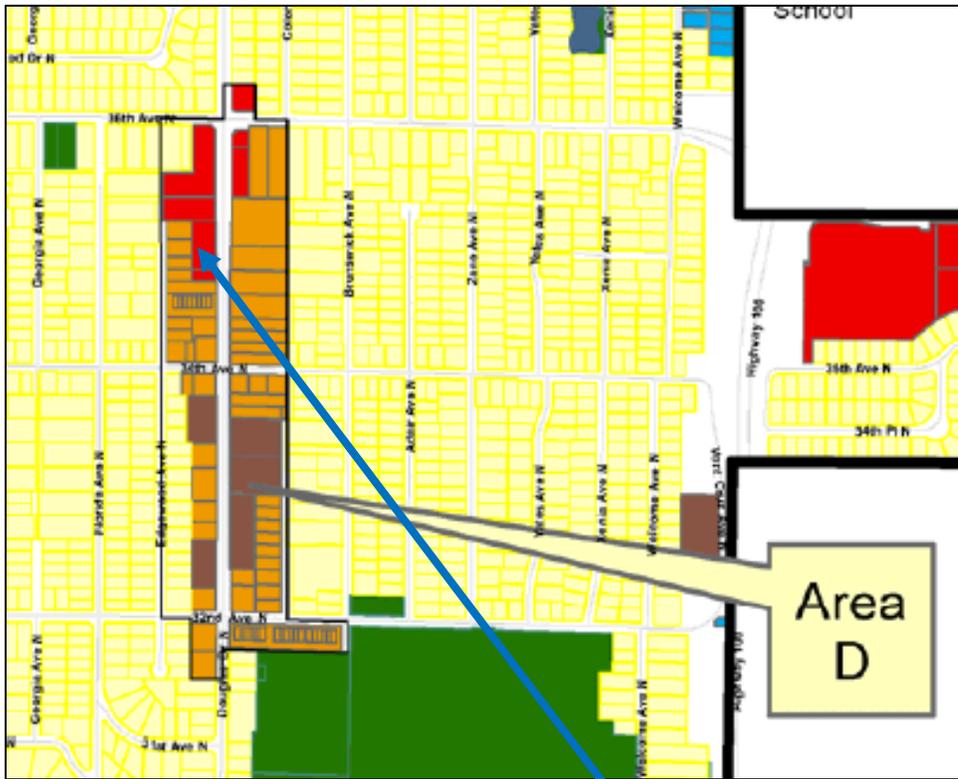


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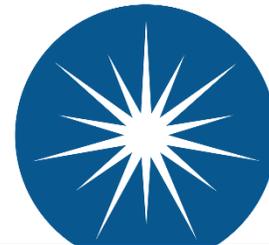
4141 Douglas Dr. N.
Crystal MN 55422

2040 Comprehensive Plan Map

Attachment C



3501 Douglas Dr. N



CITY of CRYSTAL

4141 Douglas Dr. N.
Crystal MN 55422

Hampton Senior Care of Crystal, LLC
Suite Living Senior Care of Crystal, LLC
1824 Buerkle Road
White Bear Lake, MN 55110

Attachment D

STATEMENT OF PROPOSAL: City of Crystal
December 13, 2019

PROJECT NAME: Suite Living Senior Care of Crystal

PROPERTY ADDRESS: 3501 Douglas Drive, Crystal, MN 55422

APPLICANT: Hampton Senior Care of Crystal, LLC
1824 Buerkle Road
White Bear Lake, MN 55110
Jeremy Larson: 651-253-8924
Jeremy@hamptoncos.com

DESCRIPTION OF PROPOSED DEVELOPMENT:

Hampton Senior Care of Crystal and Suite Living is proposing to develop a memory care and assisted living community to serve the care needs of the elderly citizens of Crystal and those with elderly family members in need of memory care and assisted living services. Suite Living Senior Care of Crystal community will feature a total of 32 private suites with 20 of them providing assisted living services and the other 12 providing memory care services. The assisted living residents will be able to enjoy a home-like atmosphere in a setting that allows them the freedom to participate in many amenities that not only help assist them in their daily care needs but also provide them with a higher quality of life than that offered in a more institutional setting. The memory care residents are provided with their own secured area of the building that has its own separate amenities like a congregate dining room, sunroom, activity/craft area and a secure outdoor porch. These residents benefit from a life enrichment program that is specially designed for residents with Alzheimer's and Dementia. At Suite Living Senior Care of Crystal our goal is to provide our residents with the right care at the right time.

Building Description: Total Land Size: 1.94 Acres-Approx.
Building Size: 20,744 Sq. Ft.
Occupancy: 32 Private Suites
Floor 1: 20 Assisted Living Units / 12 Memory Care Units

Parking and Access: Hard Surface Parking (26 stalls, 1 designated handicapped will be designed with dimensions and area in accordance with state law) will provide parking for resident friends and family members along with Suite Living Senior Care staff. Since none of our residents drive there will not be a significant need for parking.

Analysis currently and forward

The difference between transient building occupants i.e.: those driving and with cars and fixed immobile occupants i.e.: residents

32 residents at any one time (immobile)

3 to 5 employees

1 to 3 visitors for a total of 4 to 8 transient occupants

There will be a circular drive through turn around with a covered walkway to the entrance of the building which has a small portico which extends from the vestibule entry over the walkway and partially into the circular driveway. The portico will allow for enough clearance to allow for emergency vehicles to pass and thus be able to enter and exit the site freely.

Illumination: Lighting from the installation of outdoor flood or spot lighting and illuminated signs shall be of an intensity that is reasonable for the purpose served and will be appropriately shielded minimizing the effects on the use and enjoyment of adjoining properties.

Architectural Design: The building will combine stone, residential exterior materials, columns, roofline gables, extending porches and entrances to the building. The overall look is themed after a residential building providing a feeling of warmth and comfort for the residents.

STATE CLASSIFICATION/LICENSURE:

Suite Living Senior Care of Crystal will be classified as a Housing With Services Establishment with the MN Department of Health providing care and services via Suite Living's Comprehensive Home Care License, also through the MN Department of Health.

STATE REQUIRED INSPECTIONS:

The State will require a survey 6 months after the opening of Suite Care Senior Living of Crystal and then every two years after that.

Suite Living does an annual renewal of our Housing With Services Certificates and annual renewal of our Comprehensive Home Care Licenses.

Yearly inspections of kitchen equipment, sprinklers, fire alarms, fire extinguishers are conducted.

CONCLUSION:

Thank you for your time to review our proposal. Suite Living Senior Care of Crystal will provide great economic benefits to the city and community with 32 assisted living and memory care suites, 25 plus full and part time jobs with annual payroll of \$750,000 and a significant contribution to the tax rolls for this property and provide services to the residents of the City and surrounding area. The opportunity for the city to provide senior care options in a very demanding market well into the future is a compelling reason to approve this application.

The project is designed and intended to accommodate the needs of development for benefit to the community, as Suite Living's high level of care, access to hospice and respite will bring.

Great care has been taken to make the building attractive both as a city and neighborhood friendly addition, utilizing high quality finishes like LP smart siding, colored hard shingle in the staggered edge notched panels, smoked glass in the fake dormers, cultured stone accents and wainscoting, an extensive landscape plan with special attention to maintaining the existing buffer between the neighbors and the building.

The project will be designed exceeding the "required" landscaping and other basic requirements of code to upgrade the appearance of the building. The project will manage to maintain the required setbacks from the building to lot line front and back. Landscaping is for decorative purposes and can be moved when and if needed but provides a buffer and ornamental screening.

As we work thru the grading plan, special attention will be paid to the drainage and excavation plan to assure that the drainage of this site does not disturb the neighborhood.

By approving this project, the city is gaining an attractive, tax paying member to the community in an otherwise idle property. The building is a secure building, noise is not an issue, and the neighbors should appreciate a relatively peaceful co-existence with the new project. The project will bring many benefits to the community of Crystal.

Such benefits will include:

- Local Chamber of Commerce Membership
- Meeting room space including use for business, choir practice, piano recitals, girl/boy scouts, book clubs, churches etc.
- Be of host to community events
- Offer wellness clinics
- Charity drop off site for food and clothing
- Partnerships with local daycare centers
- Internship options for nursing students
- Volunteer opportunities
- Promote local businesses

We look forward to continuing to work with the City of Crystal during the review and approval process for this application. Please contact me with any questions you have on any item as I would be more than happy to discuss it in further detail.

Sincerely,

Jeremy Larson
Executive Vice President
Hampton Senior Care of Crystal

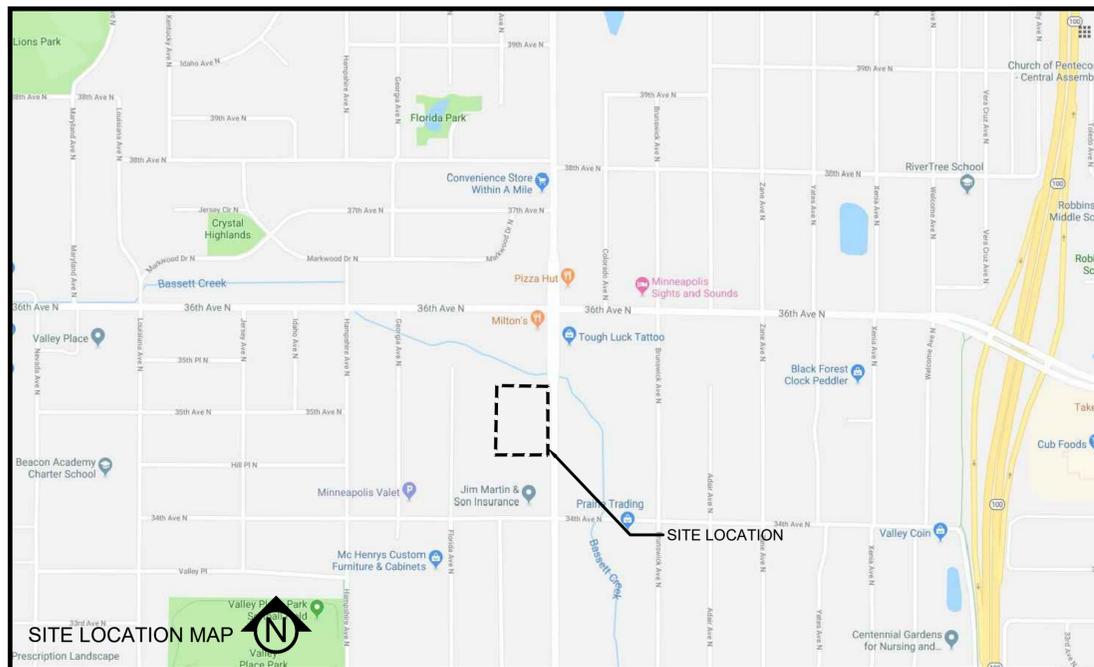
SUITE LIVING CRYSTAL

CRYSTAL, MINNESOTA

ISSUED FOR: CITY SUBMITTAL

PRELIMINARY:
NOT FOR
CONSTRUCTION

Attachment E



PROJECT
SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
Matthew R. Pavak
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL
1/6/2020	CITY RESUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY	
DATE	DESCRIPTION

TITLE SHEET

C0.0

DEVELOPER / PROPERTY OWNER:

SUITE LIVING/HAMPTON COMPANIES LLC
1341 COUNTY ROAD D CIRCLE
VADNAIS HEIGHTS, MN 55109

ARCHITECT:

ROSA ARCHITECTURAL GROUP, INC.
1084 STERLING STREET
ST. PAUL, MN 55119
651-366-7971

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
612-615-0060

SURVEYOR:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
612-615-0060

GEOTECHNICAL ENGINEER:

HUGO GEOTECHNICAL SERVICES
2825 CEDAR AVENUE S
MINNEAPOLIS, MN 55407

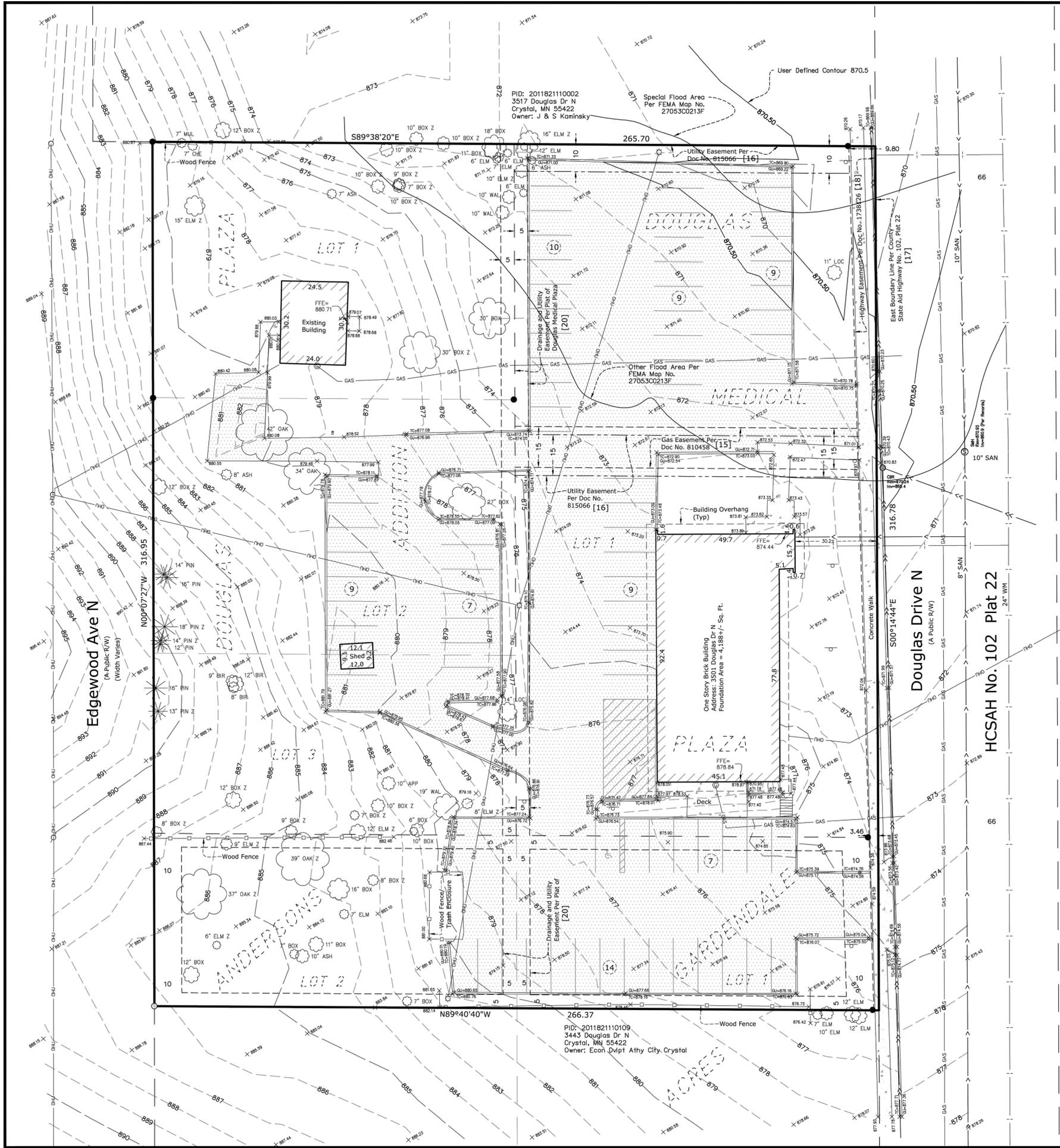
MASTER LEGEND:

--- 1125 ---	EX. 1' CONTOUR ELEVATION INTERVAL		PROPOSED MANHOLE STORM
X 1137.12	EXISTING SPOT GRADE ELEVATION		PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
--- 1137 ---	1.0' CONTOUR ELEVATION INTERVAL		PROPOSED GATE VALVE
41.26	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)		PROPOSED FIRE HYDRANT
891.00 G	SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP)		PROPOSED MANHOLE SANITARY
891.00 TC	SPOT GRADE ELEVATION TOP OF WALL		PROPOSED SIGN
891.00 BS/TS	SPOT GRADE ELEVATION BOTTOM OF WALL		PROPOSED LIGHT
	DRAINAGE ARROW		PROPOSED SANITARY SEWER
	EMERGENCY OVERFLOW		PROPOSED STORM SEWER
EOF=1135.52			PROPOSED WATER MAIN
	SILT FENCE / BIOROLL - GRADING LIMIT		EXISTING SANITARY SEWER
	INLET PROTECTION		EXISTING STORM SEWER
	STABILIZED CONSTRUCTION ENTRANCE		EXISTING WATER MAIN
	SOIL BORING LOCATION		EXISTING GAS MAIN
	CURB AND GUTTER (T.O = TIP OUT)		EXISTING UNDERGROUND ELECTRIC
	EXISTING MANHOLE		EXISTING UNDERGROUND CABLE
	EXISTING CATCH BASIN		EXISTING STOPBOX
	EXISTING HYDRANT		EXISTING GATE VALVE
			EXISTING ELECTRIC BOX
			EXISTING LIGHT
			EXISTING GAS METER
			EXISTING GAS VALVE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C4.1	OFF SITE WATER MAIN EXTENSION PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
LT1.0	LIGHTING PLAN
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS



Know what's below.
Call before you dig.



DESCRIPTION OF PROPERTY SURVEYED

Parcel 1: Lot 1, Block 1, Douglas Medical Plaza, Hennepin County, Minnesota;
 Parcel 2: Lots 1, 2 and 3, Block 1, Douglas Plaza Addition, Hennepin County, Minnesota;
 Parcel 3: Lots 1 and 2, Block 1, Andersons Gardendale Acres, Hennepin County, Minnesota.

Torrens Property
 Torrens Certificate No. 1403357

ALTA/NSPS Land Title Survey Notes
 (numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
 - Site Address: 3501 Douglas Drive, Crystal, MN 55422.
 - This property is contained in Special Flood Areas, Other Flood Areas and Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0213F, effective date of November 4, 2016. Please note that we have shown the location of the division lines between sad zones by digitizing said FEMA Map.
 - The Gross land area is 84,293 +/- square feet or 1.935 +/- acres.
 - Elevations are based on the NGVD 29 Datum. Site Benchmark is the finished floor elevation in the south entrance of building 3501 Douglas Dr., having an elevation of 878.84.
 - The current Zoning for the subject property was not provided.
- Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- Due diligence was utilized throughout the course of this survey to ensure all permanent site features were located, but snow/ice cover may have inhibited the location of some permanent site features.
 - The number of parking stalls on this site are as follows: 74 Regular + 1 Handicap = 75 Total Parking Stalls. (per Aerial Photo)
 - We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
 - The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS.

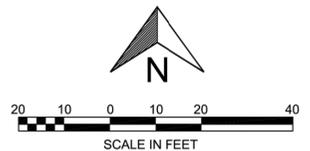
SURVEY REPORT

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Custom Home Builders Title, LLC, as agent for Old Republic National Title Insurance Company, File No. HB-40766, Supplemental No. 1, dated November 21, 2019. We note the following with regards to Schedule B of the herein referenced Title Commitment:
 - Item no.'s 1-14, 19 and 21-24 are not survey related.
 - The following are numbered per the referenced title Commitment:
 - Terms and conditions of Agreement between Village of Crystal and Edwin E. Kauffman Jr. and Patricia J. Kauffman, husband and wife; Richard C. Kauffman and Janet C. Kauffman, husband and wife, in regard to sanitary sewers, filed September 12, 1960, as Document No. 636688. (as to land in Pars 1 & 2)
 - Terms and conditions of Easement in favor of Minneapolis Gas Company, as created in document dated, filed June 14, 1965, as Document No. 810458. (as to parcel 1) As shown hereon over part of Lot 1 DOUGLAS MEDICAL PLAZA.
 - Terms and conditions of Declaration of Easement for utility and sanitary sewer, dated July 7, 1965, filed July 26, 1965, as Document No. 815066. (as to land in Pars 1 & 2) As shown hereon over part of Lot 1 DOUGLAS MEDICAL PLAZA.
 - Terms and conditions of Hennepin County State Aid Highway Number 102, Plat 22, as directed by Resolution Doc No. 979240, filed May 30, 1974, as Document No. 1108765. (as to land in Par 1 and as to Lot 1 in Par 3) As shown hereon along the east property line.
 - Terms and conditions of Easement for highway purposes over part of land in Par 1, in favor of Hennepin County, as created in quit claim deed filed July 11, 1986, as Document No. 1738126. As shown hereon along the east property line
 - Easements for utilities and drainage as shown on the recorded plat. As shown hereon along the east lines of Lots 1, 2 and 3 of DOUGLAS PLAZA ADDITION and along the west line of Lot 1 DOUGLAS MEDICAL PLAZA.

ALTA CERTIFICATION

To: FTKD Properties, Inc., a Minnesota corporation; Hampton Companies, LLC, a Minnesota limited liability company; Old Republic National Title Insurance Company; and Custom Home Builders Title, LLC.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 8, 9, 11 of Table A thereof. The field work was completed on December 11, 2019.
 Dated this 11th day of December, 2019.

Rory L. Synstelien Minnesota License No. 44565
 rory@civilsitegroup.com



Linetype & Symbol Legend

FD	FIBER OPTIC	⊕	SIGN	⊠	AIR CONDITIONER
— GAS	GASMAIN	⊙	UTILITY MANHOLE	⊙	BOLLARD
— WATER	WATERMAIN	⊙	SANITARY MANHOLE	⊙	ELECTRIC MANHOLE
— SANITARY SEWER	SANITARY SEWER	⊙	STORM MANHOLE	⊙	FLAG POLE
— STORM SEWER	STORM SEWER	⊙	CATCH BASIN	⊙	FLARED END SECTION
DHU	OVERHEAD UTILITIES	⊙	TELEPHONE BOX	⊙	GAS VALVE
TEL	TELEPHONE LINE	⊙	TELEPHONE MANHOLE	⊙	HANDICAP SYMBOL
ELF	ELECTRIC LINE	⊙	ELECTRIC TRANSFORMER	⊙	HYDRANT
CTV	CABLE LINE	⊙	TRAFFIC SIGNAL	⊙	WATER MANHOLE
— CHAINLINK FENCELINE	CHAINLINK FENCELINE	⊙	CABLE TV BOX	⊙	WATER VALVE
— WOODEN FENCELINE	WOODEN FENCELINE	⊙	ELECTRICAL METER	⊙	POWER POLE
— GUARDRAIL	GUARDRAIL	⊙	GAS METER	⊙	GUY WIRE
— CONCRETE SURFACE	CONCRETE SURFACE	⊙	FOUND IRON MONUMENT	⊙	CONIFEROUS TREE
— PAVER SURFACE	PAVER SURFACE	⊙	SET IRON MONUMENT	⊙	DECIDUOUS TREE
— BITUMINOUS SURFACE	BITUMINOUS SURFACE	⊙	CAST IRON MONUMENT	⊙	
— GRAVEL/LANDSCAPE SURFACE	GRAVEL/LANDSCAPE SURFACE	⊙		⊙	

Suite Living of Crystal
 3501 Douglas Drive, Crystal, MN 55422
Hampton Companies, LLC
 1341 County Rd D Circle, Vadnais Heights, MN 55109

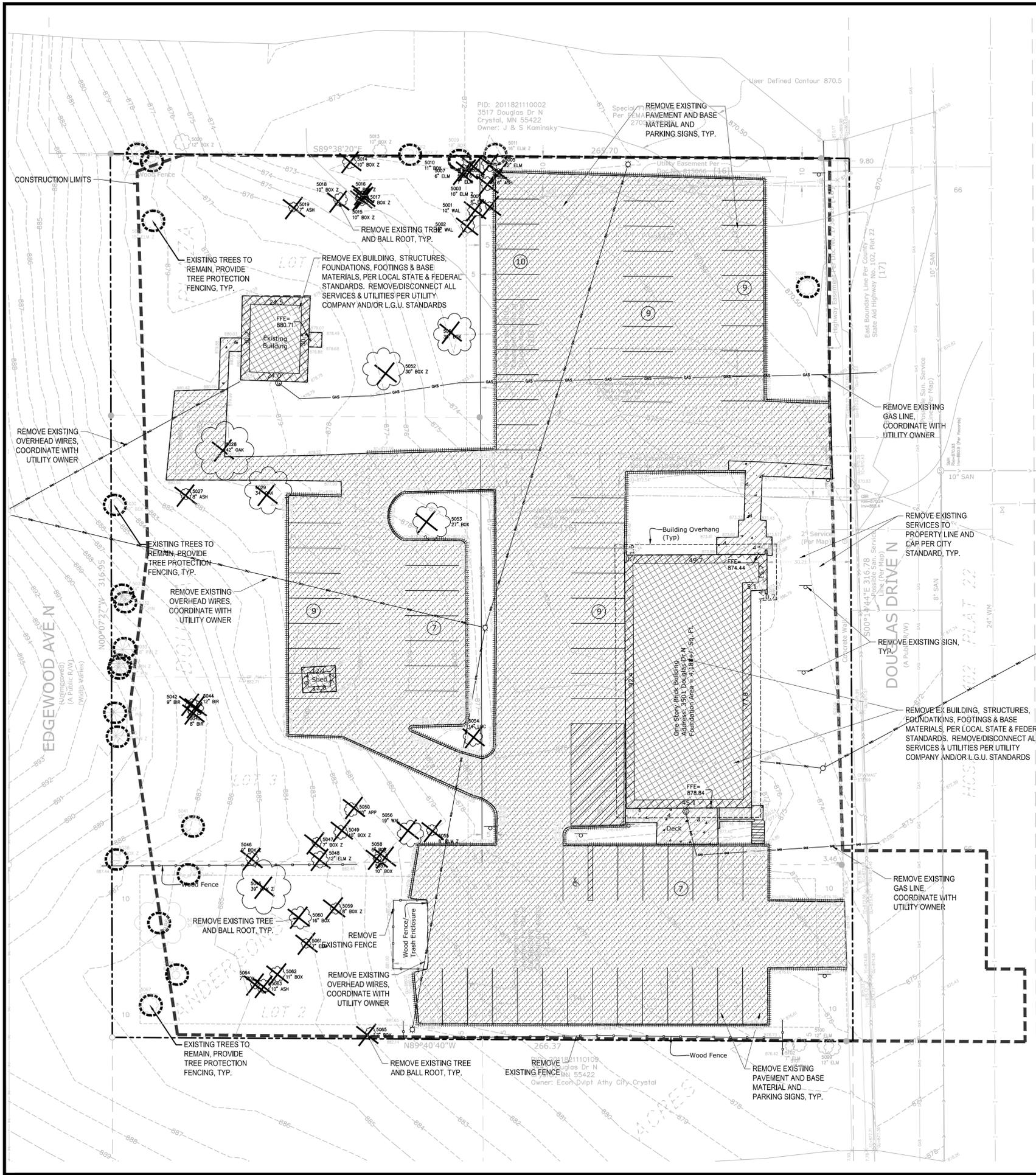
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELIEN
 DATE 12-11-2019 LICENSE NO. 44565



REVISION SUMMARY

DATE	DESCRIPTION



REMOVAL NOTES:

- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

CITY OF CRYSTAL REMOVAL NOTES:

- PER THE CITY OF CRYSTAL, THE FOLLOWING LISTS THE CITY'S TREE PROTECTION REQUIREMENTS (§20.11, SUBD. 5(D)):
- PAVING OR SOIL COMPACTION PROHIBITED.
THE AREA WITHIN THE CRITICAL ROOT ZONE (AS DEFINED AS FIVE FEET BEYOND THE DROP LINE) OF ANY PROTECTED TREE SHALL NOT BE SUBJECT TO PAVING OR SOIL COMPACTION.
 - OWNER'S RESPONSIBILITY.
DURING SITE DEVELOPMENT, THE PROPERTY OWNER OR DEVELOPER SHALL BE RESPONSIBLE FOR THE ERECTION OF ANY AND ALL BARRIERS NECESSARY TO PROTECT ANY EXISTING OR INSTALLED TREES FROM DAMAGE BOTH DURING AND AFTER CONSTRUCTION.
 - TREE PROTECTION FENCING.
 - ALL PROTECTED TREES SHALL BE FENCED IN BEFORE GRADING OR OTHER LAND-DISTURBING ACTIVITY BEGINS. FENCING SHALL EXTEND AT LEAST FIVE FEET FROM THE EDGE OF THE DRIP LINE, BUT IN NO CASE CLOSER THAN TEN FEET TO THE TRUNK.
 - THE ZONING ADMINISTRATOR SHALL CONSIDER EXISTING SITE CONDITIONS IN DETERMINING THE EXACT LOCATION OF ANY TREE PROTECTION FENCING.
 - ALL FENCING REQUIRED BY THIS SUBSECTION SHALL BE AT LEAST FOUR FEET IN HEIGHT AND SECURED USING APPROPRIATE POSTS.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.5

TREE REPLACEMENT:

CITY TREE REPLACEMENT CALCULATIONS:

OVERALL EXISTING TREES:	63 (814" DBH)
OVERALL EXISTING TREES TO REMAIN:	20 (267" DBH)
SIGNIFICANT TREES REMOVED:	7
4 - 12"-17" DBH	4 REPLACEMENT TREES REQ'D
0 - 18"-23" DBH	0 REPLACEMENT TREES REQ'D
1 - 24"-35" DBH	6 REPLACEMENT TREES REQ'D
2 - 36"-47" DBH	20 REPLACEMENT TREES REQ'D
0 - 48" + DBH	0 REPLACEMENT TREES REQ'D
REQUIRED REPLACEMENT:	30 TREES
REFER TO ADDITIONAL CALCULATIONS ON SHEETS L1.0 AND L1.1	

REMOVALS LEGEND:

- EX. 1' CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL P.V.M.TS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVE CURB AND GUTTER, IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL
PROJECT
3501 Douglas Drive, Crystal, MN 55422
SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

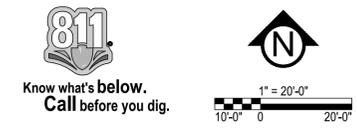
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1/6/2020	CITY RESUBMITTAL

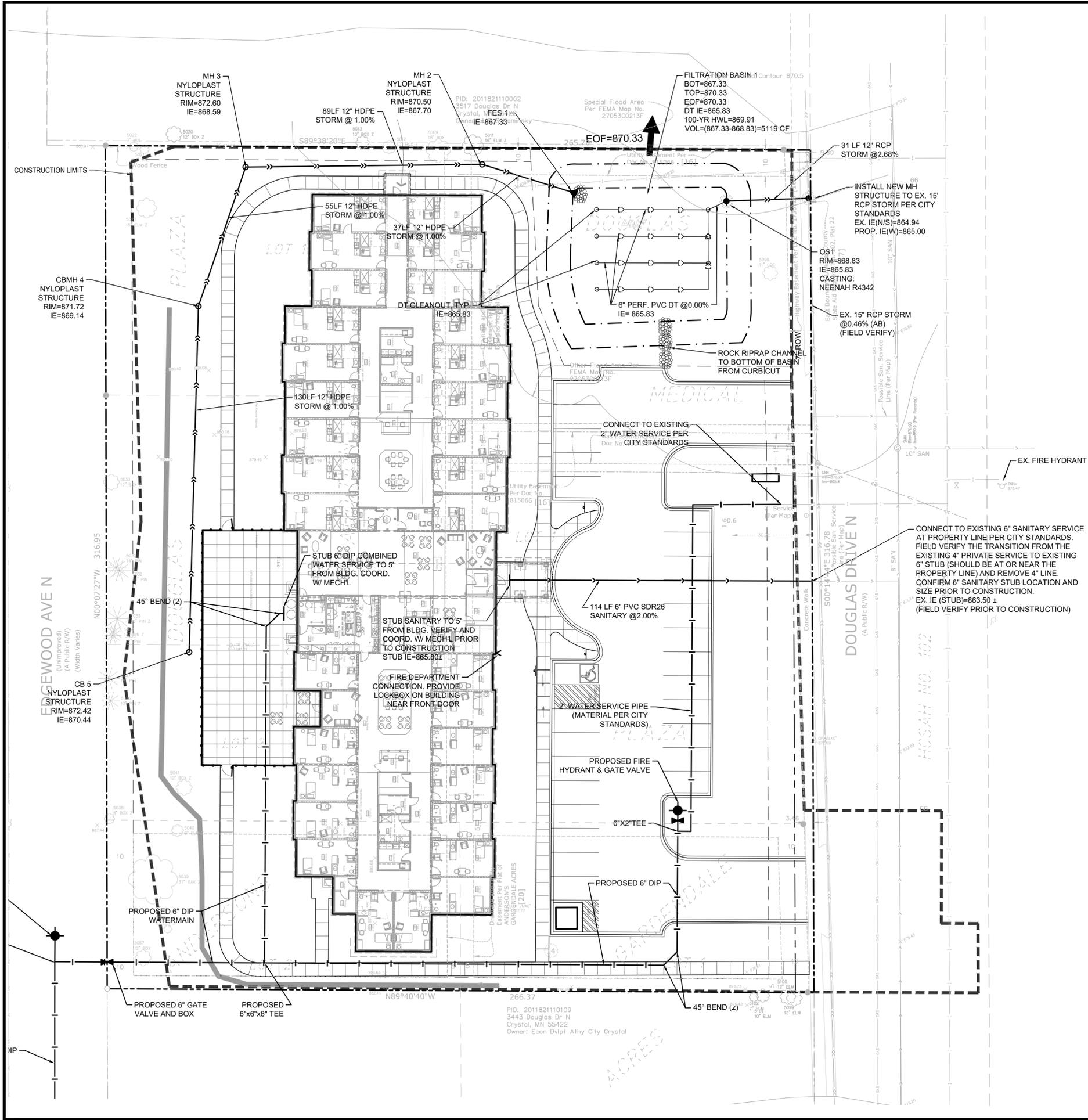
DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION
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REMOVALS & TREE PROTECTION PLAN
C1.0
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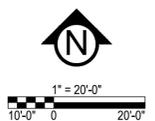
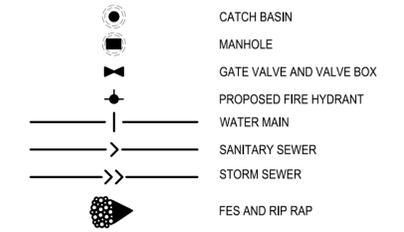
GENERAL UTILITY NOTES:

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.

CITY OF CRYSTAL UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

SUITE LIVING CRYSTAL
PROJECT
3501 Douglas Drive, Crystal, MN 55422
SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

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Matthew R. Pavok
DATE 12/13/19 LICENSE NO. 44263

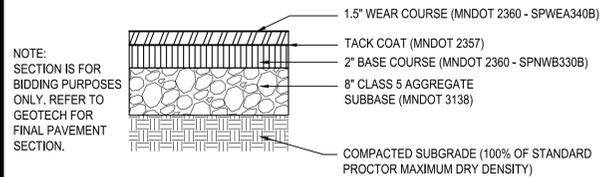
ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL
1/6/2020	CITY RESUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

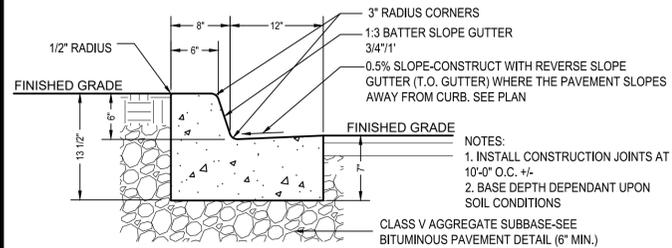
REVISION SUMMARY	
DATE	DESCRIPTION

UTILITY PLAN

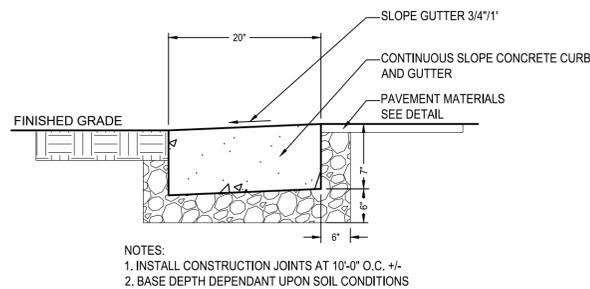
C4.0



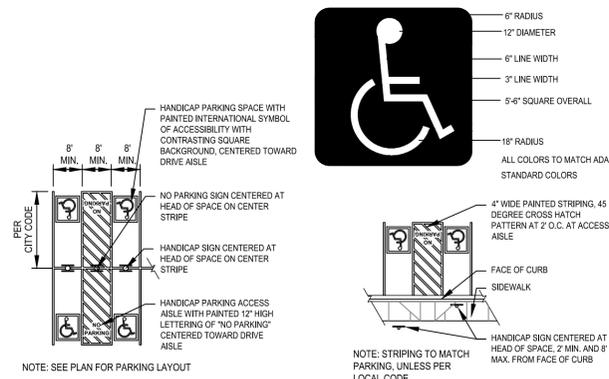
1 LIGHT DUTY BITUMINOUS PAVEMENT
N T S



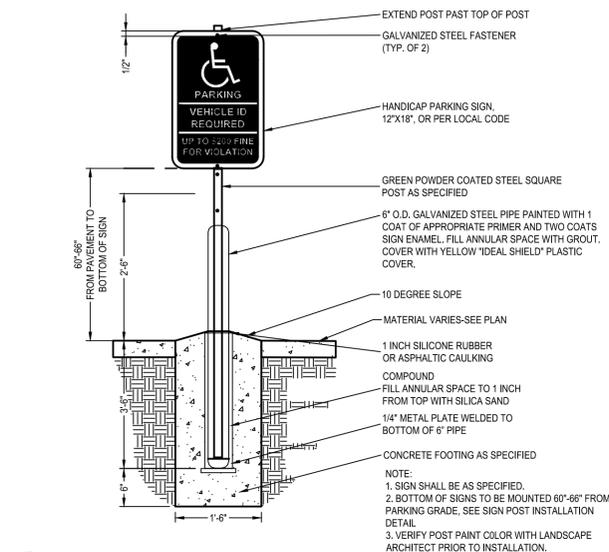
2 B-612 CONCRETE CURB AND GUTTER
N T S



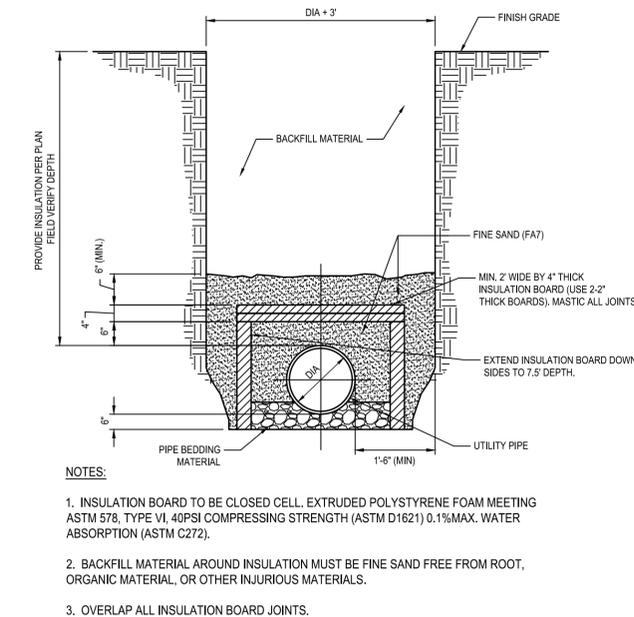
3 RIBBON CURB
N T S



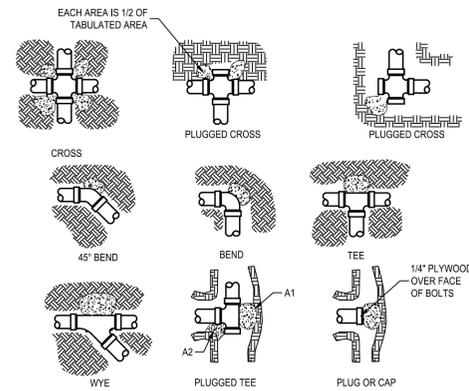
4 ACCESSIBLE SIGNAGE AND STRIPING
N T S



5 ACCESSIBLE SIGN AND POST
N T S



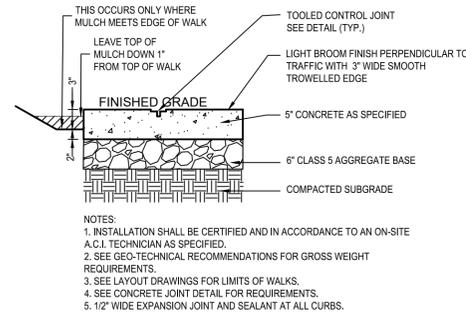
6 UTILITY PIPE INSULATION DETAIL
N T S



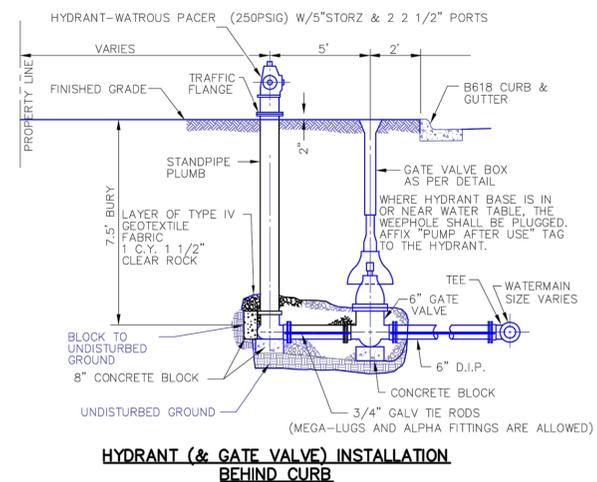
NOMINAL FITTING SIZE (INCHES)	TYE, WYE, PLUG, OR CAP	90° BEND, PLUGGED CROSS	TEE PLUGGED ON RUN	45° BEND	22.5° BEND	11.25° BEND
			A1 A2			
4	1.0	1.4	1.9 1.4	1.0	-	-
6	2.1	3.0	4.3 3.0	1.6	1.0	-
6	3.8	5.3	7.6 5.4	2.9	1.5	1.0
10	5.9	8.4	11.8 8.4	4.6	2.6	1.2
12	8.5	12.0	17.0 12.0	6.6	3.4	1.7
14	11.5	16.3	23.0 16.3	8.9	4.6	2.3
16	15.0	21.3	30.0 21.3	11.6	6.0	3.0
18	19.0	27.0	38.0 27.0	14.6	7.6	3.6
20	23.5	33.3	47.0 33.3	18.1	9.4	4.7
24	34.0	48.0	68.0 48.0	26.2	13.6	6.8

- NOTES:
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
 2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
 3. IF NOT SHOWN ON PLANS, REQUIRED BEARING AT FITTING SHALL BE AS INDICATED ABOVE, ADJUSTED IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS(ES).
 4. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN THIS STANDARD DETAIL.
 5. ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 P.S.I. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150) X (200/SOIL BEARING STRESS) X (TABLE VALUE).

7 THRUST BLOCK
N T S



8 CONCRETE WALK/PAD
N T S (PRIVATE PROPERTY)



CITY OF CRYSTAL
4141 DOUGLAS DRIVE
CRYSTAL, MN 55422
ENGINEERING

CITY OF CRYSTAL
STANDARD DRAWING

DRAWING#
HYDRANT

HYDRANT AND
GATE VALVE
INSTALLATION

DRAWN—MAY 18, 2018
REVISION DATE—

PRELIMINARY:
NOT FOR
CONSTRUCTION

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

PROJECT

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Matthew R. Pavlek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL
1/6/2020	CITY RESUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION

CIVIL DETAILS

C5.0

**PRELIMINARY:
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CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422
SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUEKLE RD., WHITE BEAR LAKE, MN 55110

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Matthew R. Pavak
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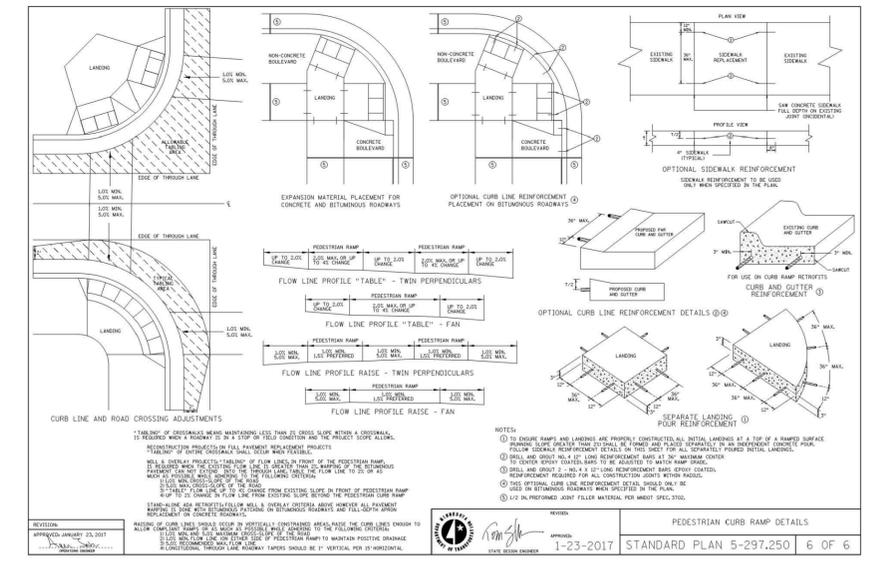
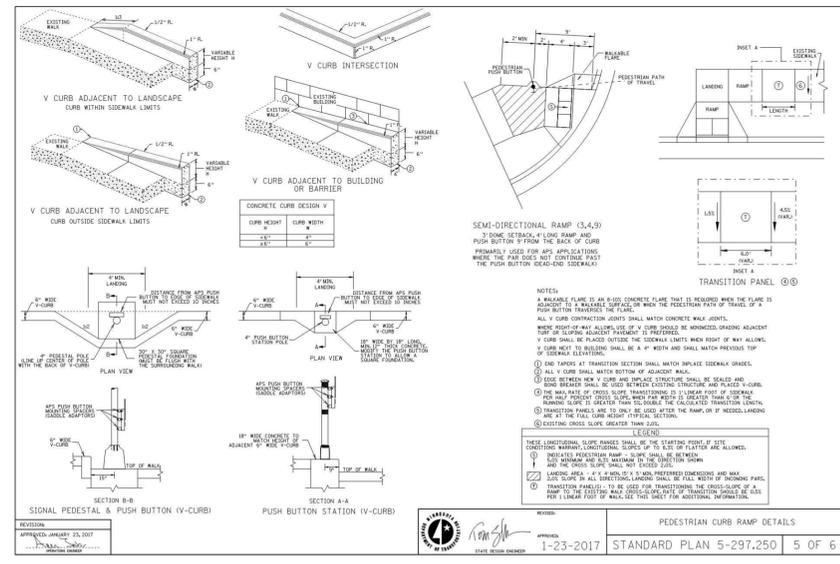
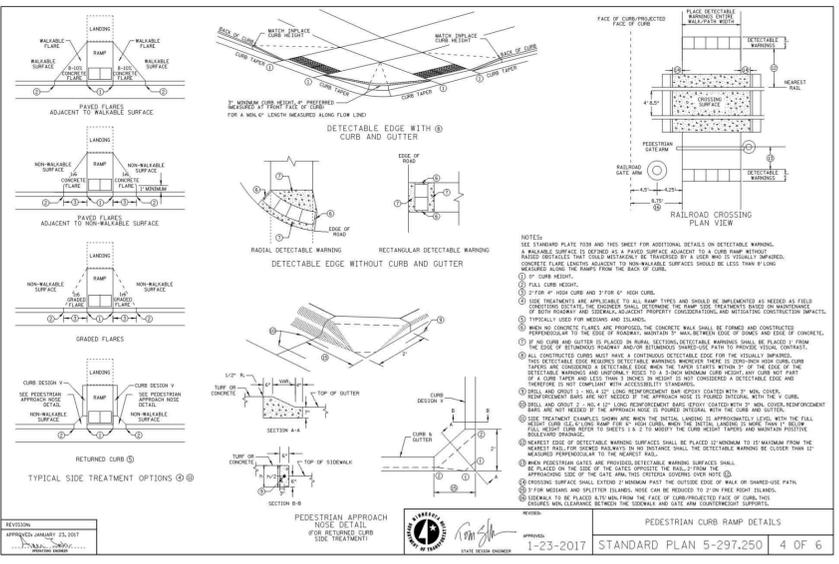
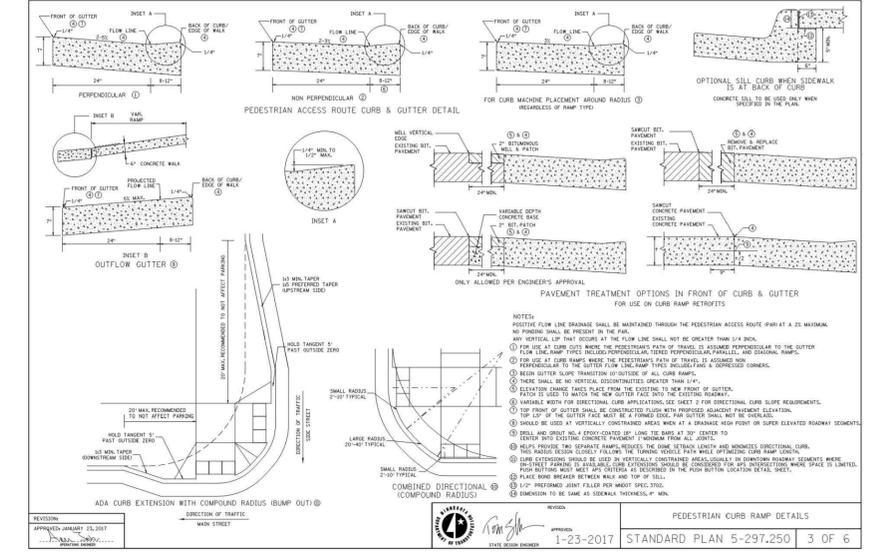
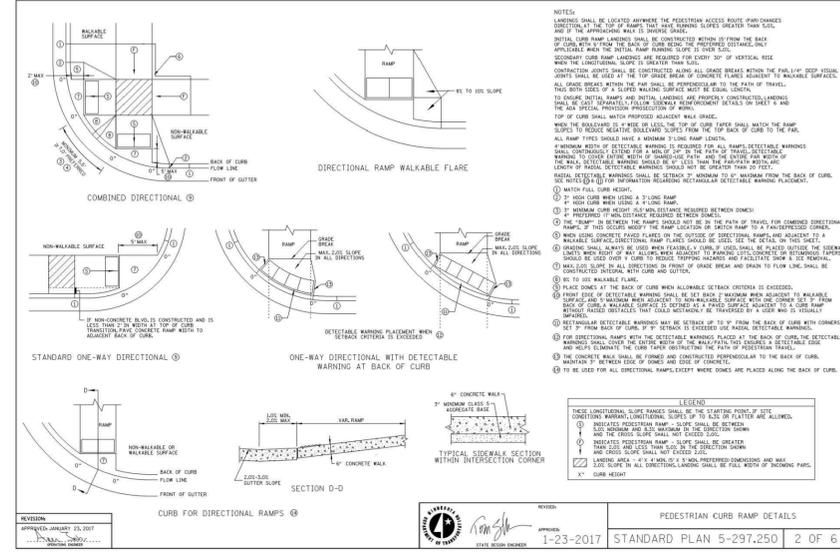
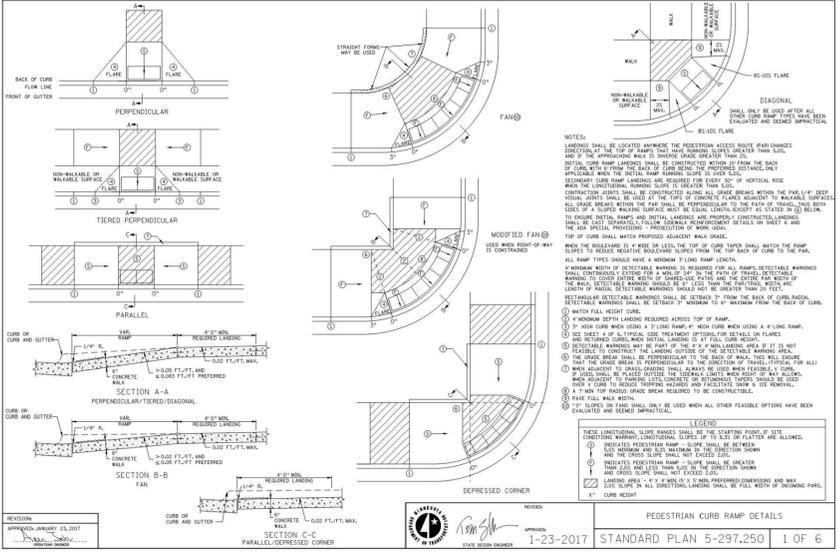
ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
12/13/19 CITY SUBMITTAL
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DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY
DATE DESCRIPTION

CIVIL DETAILS

C5.2



TREE REMOVAL AND PRESERVATION CALCULATIONS

NO	TYPE	SIZE	SPECIES	SIGNIF.	REMOVE	EXISTING TREES - APPROVED TREE	
						CREDIT TO OPEN SPACE	SPECIES (CITY OF CRYSTAL)
5000	TRD		6 ELM		X		X
5001	TRD		10 WALNUT		X		
5002	TRD		10 WALNUT		X		
5003	TRD		10 ELM		X		X
5004	TRD		6 ASH		X		
5005	TRD		12 ELM	X	X		X
5006	TRD		6 ELM		X		X
5007	TRD		6 ELM		X		X
5008	TRD		7 ELM		X		X
5009	TRD		18 BOX ELDER	X			
5010	TRD		11 BOX ELDER		X		
5012	TRD		10 BOX ELDER				
5014	TRD		10 BOX ELDER		X		
5015	TRD		10 BOX ELDER		X		
5016	TRD		9 BOX ELDER		X		
5017	TRD		7 BOX ELDER		X		
5018	TRD		10 BOX ELDER		X		
5019	TRD		7 ASH		X		
5021	TRD		7 CHERRY				
5022	TRD		7 MULBERRY				
5023	TRD		15 ELM	X		X	X
5027	TRD		8 ASH		X		
5028	TRD		42 OAK	X	X		X
5029	TRD		34 OAK	X	X		X
5030	TRD		12 BOX ELDER	X			
5031	TRC		14 PINE			X	X
5032	TRC		16 PINE	X		X	X
5033	TRC		18 PINE	X		X	X
5034	TRC		14 PINE	X		X	X
5035	TRC		12 PINE	X		X	X
5036	TRC		13 PINE	X		X	X
5037	TRC		16 PINE	X		X	X
5038	TRD		8 BOX ELDER				
5039	TRD		37 OAK	X		X	X
5040	TRD		9 ELM			X	X
5041	TRD		12 BOX ELDER	X			
5042	TRD		9 BIRCH		X		X
5043	TRD		8 BIRCH		X		X
5044	TRD		12 BIRCH	X	X		X
5045	TRD		39 OAK	X	X		X
5046	TRD		9 BOX ELDER		X		
5047	TRD		7 BOX ELDER		X		
5048	TRD		12 ELM	X	X		X
5049	TRD		10 BOX ELDER		X		
5050	TRD		10 CRABAPPLE		X		X
5051	TRD		30 BOX ELDER	X	X		
5052	TRD		30 BOX ELDER	X	X		
5053	TRD		27 BOX ELDER	X	X		
5054	TRD		14 HONEYLOCUST	X	X		X
5055	TRD		8 ELM		X		X
5056	TRD		19 WALNUT	X	X		
5057	TRD		10 BOX ELDER		X		
5058	TRD		6 BOX ELDER		X		
5059	TRD		8 BOX ELDER		X		
5060	TRD		16 BOX ELDER	X	X		
5061	TRD		7 ELM		X		X
5062	TRD		11 BOX ELDER		X		
5063	TRD		10 ASH		X		X
5064	TRD		7 BOX ELDER		X		
5065	TRD		7 BOX ELDER		X		
5066	TRD		6 ELM			X	X
5067	TRD		12 BOX ELDER	X			
5090	TRD		11 HONEYLOCUST			X	X

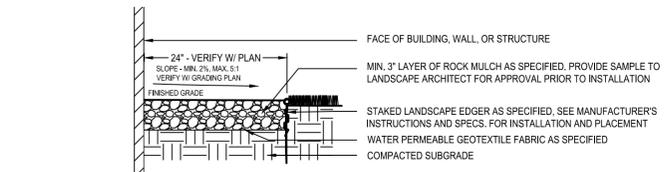
	NUMBER	CAL. IN.
TOTAL TREES	63	814
TOTAL SIGNIFICANT TREES	25	496
TOTAL APPROVED TREES	30	433
TOTAL SIGNIF. APPROVED TREES	16	320

	NUMBER	CAL. IN.
TOTAL TREES REMOVED	43	547
TOTAL SIGNIFICANT TREES REMOVED	12	287
TOTAL APPROVED TREES REMOVED	18	211
TOTAL SIGNIF. APPROVED TREES REMOVED	7	165

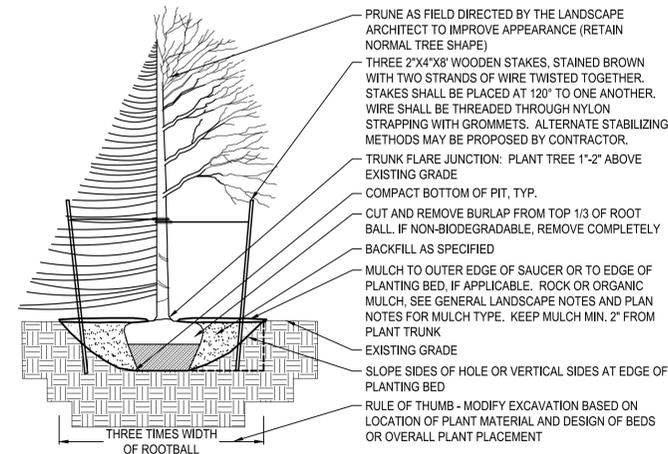
	NUMBER	CAL. IN.
TOTAL TREES PRESERVED	20	267
TOTAL SIGNIFICANT TREES PRESERVED	13	209
TOTAL APPROVED TREES PRESERVED	12	222
TOTAL SIGNIF. APPROVED TREES PRESERVED	9	155

CAL.	NUMBER REMOVED*	REPLACEMENT RATIO	NUMBER TO REPLACE
12" - 17"	4	1:1	4
18" - 23"	0	3:1	0
24" - 35"	1	6:1	6
36" - 42"	2	10:1	20
48" +	0	12:1	0
TOTAL			30

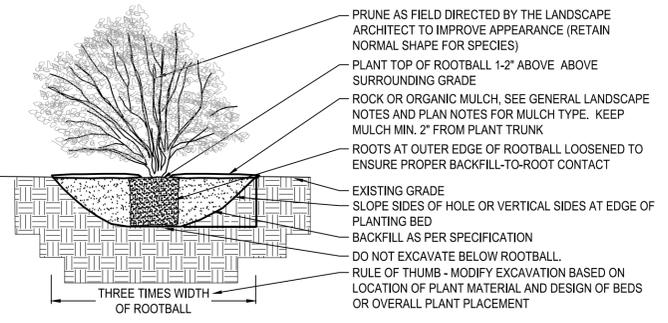
* ONLY APPROVED SPECIES WERE CONSIDERED IN THE TREE REPLACEMENT CALCULATION.



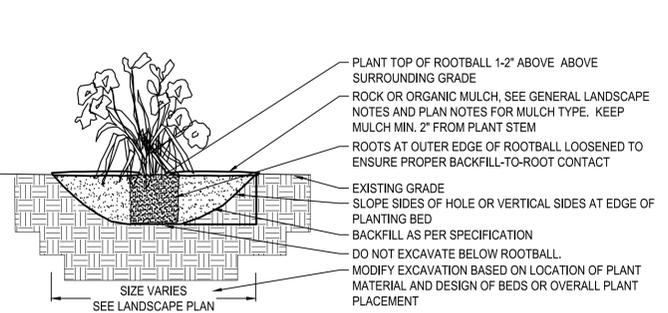
1 AGGREGATE MAINTANENCE STRIP
NTS



2 DECIDUOUS & CONIFEROUS TREE PLANTING
NTS



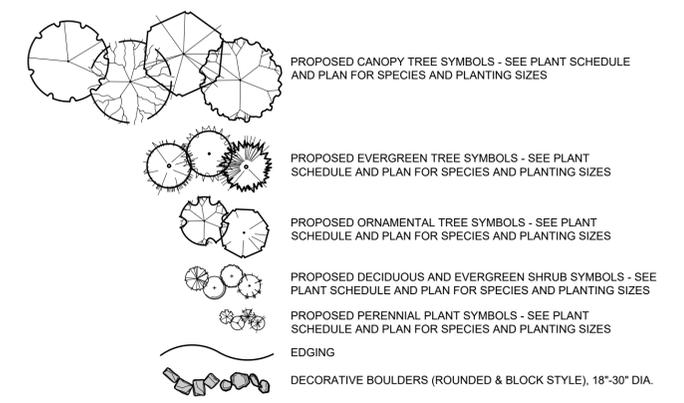
3 DECIDUOUS & CONIFEROUS SHRUB PLANTING
NTS



4 PERENNIAL BED PLANTING
NTS

IRRIGATION NOTES:

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
- IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS. COVERAGE.
- ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
- ALL LATERAL LINES SHALL BE 12" BELOW FINISHED GRADE.
- ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL "ELLED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- FABRICATE ALL PIPE TO MANUFACTURE'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
- BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
- IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
- CONTROL WIRES: 14 GAUGE DIRECT BURIAL. SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
- AVOID OVER SPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADIUS OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- USE SCREENS ON ALL HEADS.
- A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
- ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTEND 3" BEYOND PERIMETER OF VALVE BOX.
- THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.



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CONSTRUCTION**

SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD, WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Sarver
Patrick J. Sarver
DATE 12/13/19 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12/13/19	CITY SUBMITTAL
1/6/2020	CITY RESUBMITTAL

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

DATE	DESCRIPTION

**LANDSCAPE PLAN
NOTES & DETAILS**

L1.1

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GENERAL SWPPP REQUIREMENTS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 & MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION, THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. STABILIZE DENUDED AREAS AND STOCKPILES
9. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS.
4. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
5. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
6. CLEAR AND GRUB REMAINDER OF SITE
7. STRIP AND STOCKPILE TOPSOIL
8. ROUGH GRADING OF SITE
9. STABILIZE DENUDED AREAS AND STOCKPILES
10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
11. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
12. INSTALL STREET SECTION
13. INSTALL CURB AND GUTTER
14. BITUMINOUS ON STREETS
15. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
17. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
18. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 1. THE FINAL SWPPP.
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT.
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE).
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

- 1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR OR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

- 1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

- 1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

- 1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED WITHIN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED 'WORK IN WATER RESTRICTIONS' DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE

- WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES.
7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT EROSION DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.
9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

- 1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADE/ LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADED SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CURB PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETE, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY OF MINNESOTA OR THE DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS, IF PRESERVING THE BUFFER IS INFEASIBLE. PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT DOES NOT CAUSE EROSION.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

- 1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR NUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

- 1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs.
3. PERMITTEES MUST INSPECT ALL CURB AND GUTTER SYSTEMS AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE MEANS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT, OR

- c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
a. DATE AND TIME OF INSPECTIONS; AND
b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

- 1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FLOOR RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

- 1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPs DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S 'HOMEOWNER FACT SHEET' TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS: THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

- SEED
• TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.
MULCH
• IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

- SLOPES
• 3:1 (HORIZ/VERT.) OR FLATTER MULCH SHALL BE COVERED WITH MULCH
• SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
• SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

TRAINING SECTION 21

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011
TOTAL TRAINING HOURS: 12
RE-CERTIFICATION: 3/16/2017 (8 HOURS), EXP. 5/31/2020

OWNER INFORMATION

OWNER:
HAMPTON COMPANIES
1824 BUERKLE ROAD
WHITE BEAR LAKE, MN 55110
CONTACT:

AREAS AND QUANTITIES:

Table with columns: SITE AREA CALCULATIONS, EXISTING CONDITION, PROPOSED CONDITION. Rows include BUILDING COVERAGE, ALL PAVEMENTS, ALL NON-PAVEMENTS, TOTAL SITE AREA, IMPERVIOUS SURFACE, EXISTING CONDITION, PROPOSED CONDITION, DIFFERENCE (EX. VS PROP.), EROSION CONTROL QUANTITIES, DISTURBED AREA, SILT FENCE/BIO-ROLL, EROSION CONTROL BLANKET, INLET PROTECTION DEVICES.

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

CONTRACTOR: SWPPP INSPECTOR TRAINING: ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE: ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT ATTACHMENT B: CONSTRUCTION STORMWATER INSPECTION CHECKLIST ATTACHMENT C: MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS ATTACHMENT D: STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST. ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES: THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS GREATER THAN 1.0 ACRES SO AN NPDES PERMIT IS REQUIRED AND NEEDS TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF AN EXISTING OFFICE AND SF RESIDENTIAL PROPERTY ADDING ONE ASSISTED HOUSING BUILDING. SITE, GRADING, UTILITY AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

NATIVE BUFFER NARRATIVE:

PRESERVING A 50' NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED AS PART OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

INFILTRATION NARRATIVE:

INFILTRATION IS NOT REQUIRED AS PART OF THE PROJECT BECAUSE PERMANENT STORM WATER MANAGEMENT IS NOT REQUIRED.

SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED. AN MPCA SOILS ASSESSMENT WAS COMPLETED AND IT WAS DETERMINED THAT THIS SITE IS APPROPRIATE FOR INFILTRATION.

SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

THIS PROJECT IS WITHIN ONE MILE AND DISCHARGES TO BASSETT CREEK WHICH IS IDENTIFIED AS IMPAIRED WATER BODIES PER THE MPCA'S 303(D) IMPAIRED WATERS LIST. BASSETT CREEK IS IMPAIRED FOR FECAL COLIFORM, AND FISHES BIOASSESSMENTS. BECAUSE THESE WATERS ARE LOCATED WITHIN ONE MILE OF THE SITE, BMPs AS DEFINED IN THE NPDES PERMIT ITEMS 23.9 AND 23.10 APPLY. THESE ARE AS FOLLOWS:

- 1. DURING CONSTRUCTION:
A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN SECTION 14, MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME.

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

- PERMANENT SEED MIX
• FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDER OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
• AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 33-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
• DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
• MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.



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SUITE LIVING CRYSTAL

3501 Douglas Drive, Crystal, MN 55422

SUITE LIVING/HAMPTON COMPANIES LLC
1824 BUERKLE RD., WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek
DATE 12/13/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

Table with columns: DATE, DESCRIPTION. Rows for 12/13/19 CITY SUBMITTAL and 1/6/2020 CITY RESUBMITTAL.

DRAWN BY: JD REVIEWED BY: MP
PROJECT NUMBER: 19313

REVISION SUMMARY

Table with columns: DATE, DESCRIPTION

SWPPP - NARRATIVE

SW1.3

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PRINT NAME: _____

SIGN: _____

REL. NO. _____ DATE: _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: **RUSSELL R. ROSA**

SIGN: _____

REL. NO. **182033** DATE: _____

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT #: **21931**

DATE: **DEC. 12, 2019**

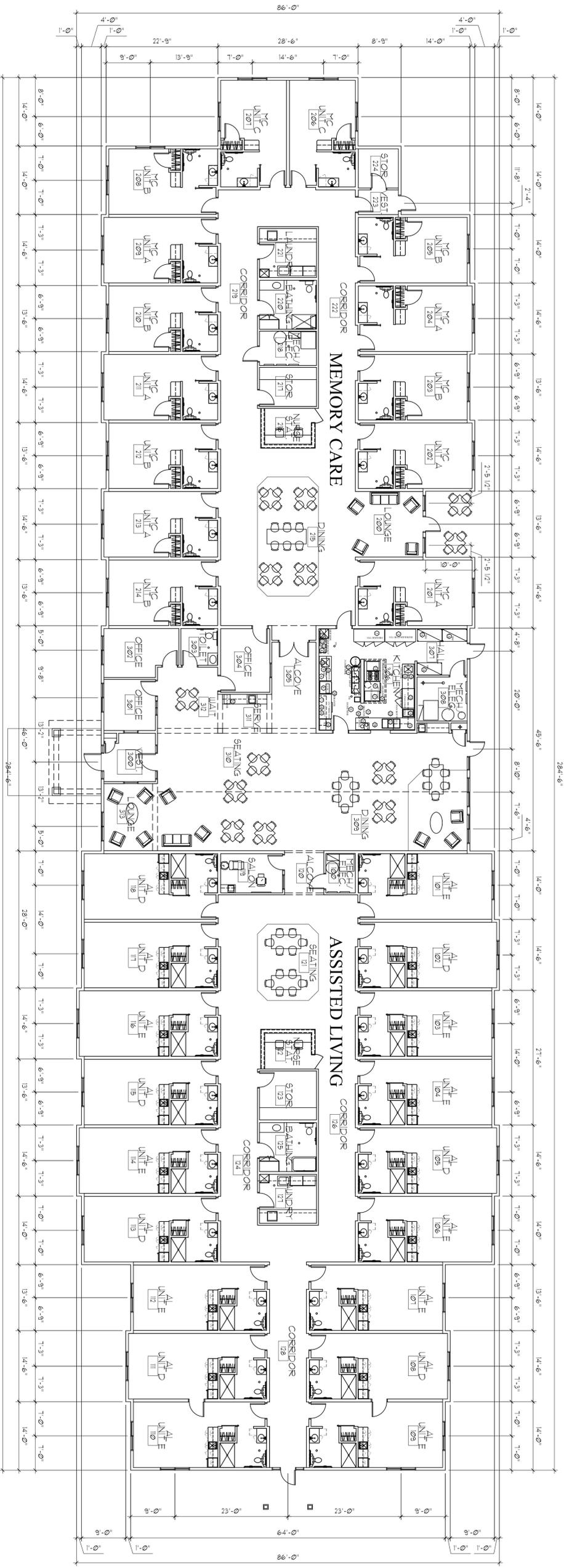
DRAWN BY: **JL**

CHECKED BY: **RR**

OVERALL
FLOOR PLAN

SHEET

A1.1



1 OVERALL FLOOR PLAN
 3/32" = 1'-0" (ON 24x36 SHEET)



INTERIOR AREA CALCULATIONS:

ASSISTED LIVING CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS & CORRIDORS	8440.4 SF.
DINING AREA	185.2 SF.
LAUNDRY ROOM	125.8 SF.
BATHING ROOM	171.1 SF.
STORAGE ROOM	125.6 SF.
NURSE STATION	86.8 SF.
TOTAL	9490.3 SF.

COMMON AREAS:	
AREA DESCRIPTION:	TOTAL SF.
COMMON LOUNGE	186.5 SF.
COMMON DINING	513.6 SF.
COMMON SEATING	151.4 SF.
COMMON LOUNGE	811.5 SF.
TOTAL	2333.0 SF.

SUPPORT AREAS:	
AREA DESCRIPTION:	TOTAL SF.
KITCHEN AREA	531.8 SF.
SALON AREA	1107.1 SF.
MECHANICAL/ELECTRIC	152.6 SF.
STAFF OFFICES	402.5 SF.
TOTAL	1203.6 SF.

MEMORY CARE CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS & CORRIDORS	6203.6 SF.
LOUNGE AREA	192.5 SF.
DINING AREA	233.9 SF.
NURSE STATION	86.8 SF.
STORAGE ROOM	100.8 SF.
LAUNDRY ROOM	125.8 SF.
BATHING ROOM	125.1 SF.
MECHANICAL/ELECTRIC	88.8 SF.
STORAGE ROOM	63.3 SF.
TOTAL	12871.2 SF.

TOTAL BUILDING AREA (TO INSIDE FACE OF WALLS): 20314.1 SF.

BASIC ALLOWABLE BUILDING AREA CALCULATIONS:
 ALLOWABLE BUILDING AREA FORMULA: $A_B = A_1 + (A_2 \times [P] + A_3 \times 3)$
 AREA INCREASE FOR FRONTAGE FORMULA: $I_F = (I/P) \times W/30$
 BASIC ALLOWABLE BUILDING AREA (A₁): 4500 SF.
 TOTAL BUILDING PERMITTER (P): 119'-0"
 BUILDING PERMITTER W/IN 20'-0" OPEN SIDE (A₂): 686'-6"
 WEIGHTED AVERAGE FOR OPEN SIDES (A₃): 300

$2935 = [(31'-6" \times 29'-0") + (655'-0" \times 30)] / 686'-6"$
 913.5
 196500

$0.63 = [(686'-6" / 119'-0") - 0.25] \times (30/30)$
 0.88

$20835 \text{ SF.} = 4500 \text{ SF.} + (4500 \text{ SF.} \times 0.63) + (4500 \text{ SF.} \times 3)$

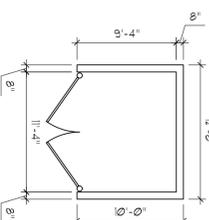
ALLOWABLE BUILDING AREA: 20835 SF.

BUILDING AREA: 20314.1 SF.

COVERED PATIOS: 216.1 SF.

TOTAL AREA: 20664.4 SF.

2 TRASH ENCLOSURE PLAN
 1/8" = 1'-0" (ON 24x36 SHEET)



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 PRINT NAME: RUSSELL R. ROSA

SHEET NO. 2023 DATE: _____
 SHEET NO. 2023 DATE: _____

1. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME: RUSSELL R. ROSA

SHEET NO. 2023 DATE: _____
 SHEET NO. 2023 DATE: _____

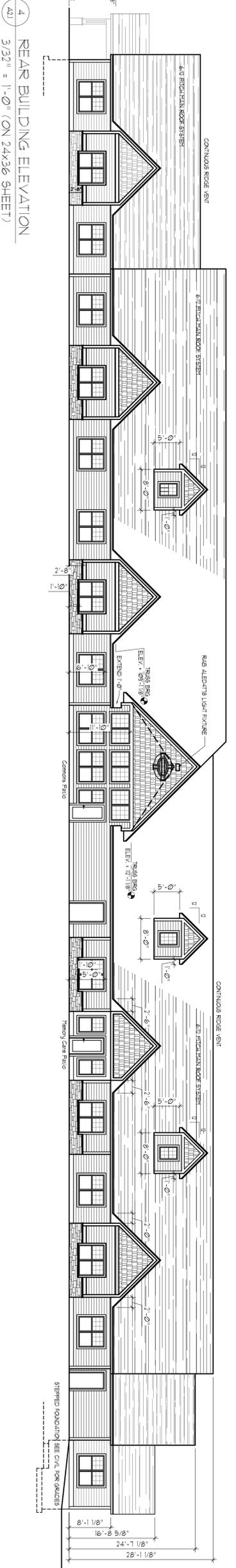
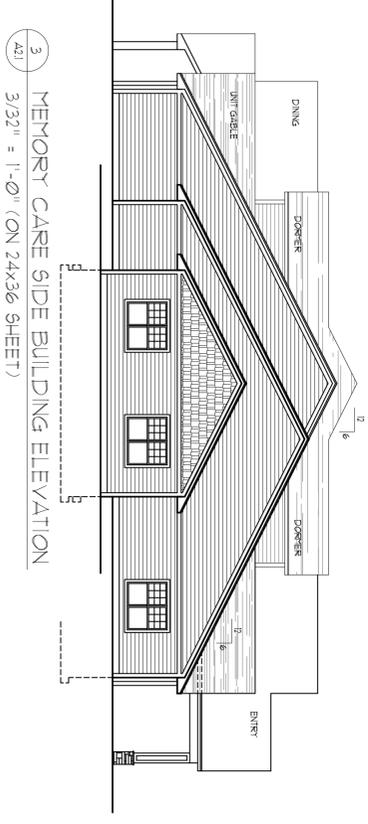
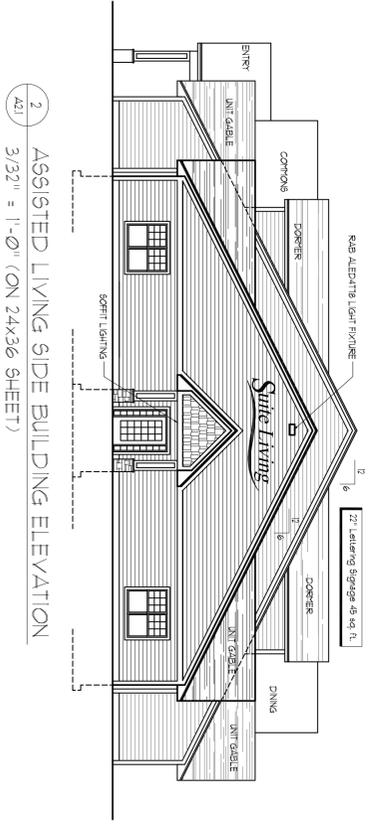
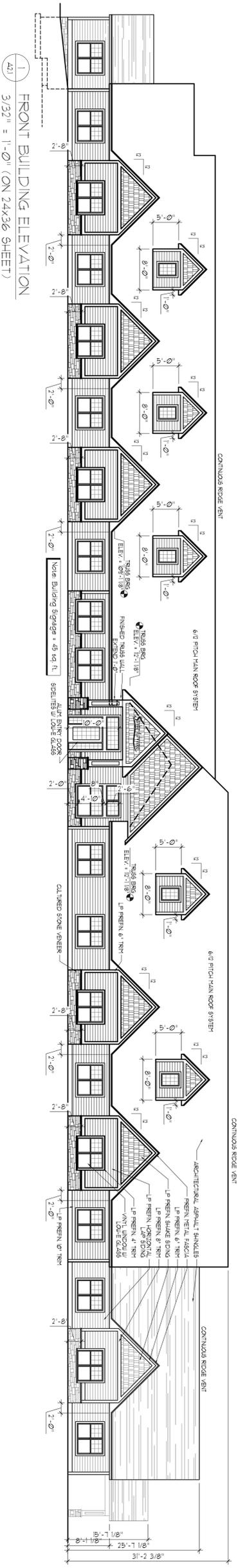
PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT #: 21931
 DATE: DEC. 12, 2019
 DRAWN BY: JL
 CHECKED BY: RR
 REVISIONS: _____

BUILDING
ELEVATIONS

SHEET

A2.1



EXTERIOR AREA CALCULATIONS:

FRONT ELEVATION (DETAIL 1/A21)

MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	2313.3 SF.	63.5%
CULTURED STONE VENEER	322.6 SF.	9.4%
VINYL WINDOWS WITH LOW-E GLASS	635.5 SF.	20.4%
ALUMINUM ENTRY DOORS	23.9 SF.	0.7%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

ASSISTED LIVING SIDE ELEVATION (DETAIL 2/A21)

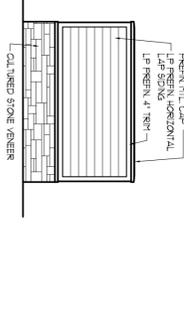
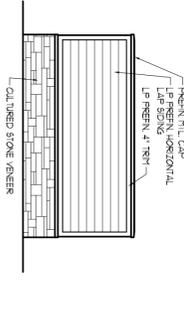
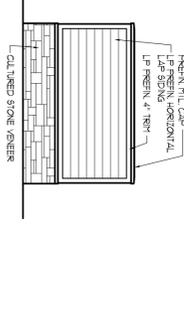
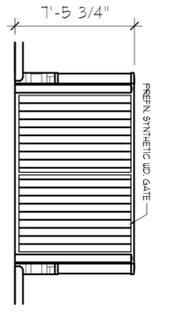
MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	1438.0 SF.	92.3%
CULTURED STONE VENEER	12.1 SF.	0.8%
VINYL WINDOWS WITH LOW-E GLASS	17.5 SF.	4.7%
ALUMINUM ENTRY DOORS	23.9 SF.	1.5%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

MEMORY CARE SIDE ELEVATION (DETAIL 3/A21)

MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	1414.0 SF.	93.8%
CULTURED STONE VENEER	4.2 SF.	0.3%
VINYL WINDOWS WITH LOW-E GLASS	90.0 SF.	6.0%
ALUMINUM ENTRY DOORS	0.0 SF.	0.0%
INSULATED HOLLOW METAL DOORS	0.0 SF.	0.0%

REAR ELEVATION (DETAIL 4/A21)

MATERIAL:	TOTAL SF	% OF WALL
PREFINISHED LP HORIZONTAL LAP SIDING, SHAKE SIDING AND TRIM BOARDS	2209.2 SF.	63.6%
CULTURED STONE VENEER	205.6 SF.	6.5%
VINYL WINDOWS WITH LOW-E GLASS	6,117 SF.	21%
ALUMINUM ENTRY DOORS	45.6 SF.	1.4%
INSULATED HOLLOW METAL DOORS	43.3 SF.	1.4%

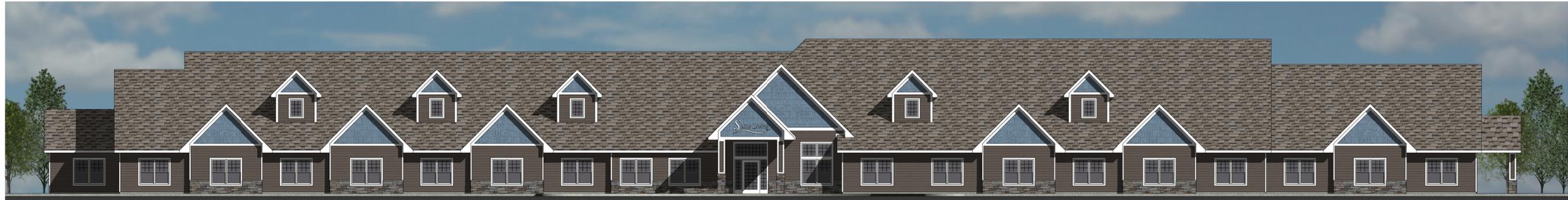


5 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)

6 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)

1 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)

2 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24X36 SHEET)



1 PROPOSED FRONT ELEVATION
 3/32" = 1'-0" (ON 24x36 SHEET)



2 PROPOSED SIDE ELEVATION
 3/32" = 1'-0" (ON 24x36 SHEET)



3 PROPOSED SIDE ELEVATION
 3/32" = 1'-0" (ON 24x36 SHEET)



4 PROPOSED REAR ELEVATION
 3/32" = 1'-0" (ON 24x36 SHEET)



5 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24x36 SHEET)



6 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24x36 SHEET)



7 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24x36 SHEET)



8 TRASH ENCLOSURE ELEV.
 3/16" = 1'-0" (ON 24x36 SHEET)

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 Architectural
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGNED: _____

REG. NO. _____ DATE: _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: _____

SIGNED: _____

REG. NO. _____ DATE: _____

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DATE: DEC. 12, 2019

DRAWN BY: JL

CHECKED BY: RR

REVISIONS: _____

PROPOSED
 COLOR
 ELEVATIONS

SHEET

A4.1

SUITE LIVING OF CRYSTAL

CRYSTAL, MINNESOTA

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CIVIL ENGINEER
CIVIL SITE GROUP
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ST. PAUL, MN 55119

SURVEYOR
CIVIL SITE GROUP
4931 W. 35th STREET, SUITE 200
ST. LOUIS PARK, MN 55416

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TITLE SHEET &
PROJECT INFO

SHEET

T1.1