



CITY of CRYSTAL

4141 Douglas Drive North • Crystal, Minnesota 55422-1609

Tel: (763) 531-1000 • Fax: (763) 531-1188 • www.crystalmn.gov

REQUEST FOR PROPOSALS (“RFP”)

4741 Welcome Avenue North

The Economic Development Authority of the City of Crystal (EDA) is requesting proposals from builders to purchase 4741 Welcome Avenue North for construction of a new residential building. Enclosed please find the Proposal Form and Guidelines for making a proposal.

To receive consideration, proposals must be submitted on a completed Proposal Form plus the required attachments and additional information. Incomplete proposals will not be considered. Proposals may be submitted at any time and will be considered on a “first come, first served” basis.

If you have questions about the RFP process or the enclosed Guidelines, feel free to contact me at 763.531.1142 or dan.olson@crystalmn.gov. Thank you for your interest.

Regards,

Dan Olson
City Planner

PROPOSAL FORM
PROPOSAL TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF CRYSTAL
4741 WELCOME AVENUE NORTH
LOTS 3 AND 4 (EXCEPT FOR THE SOUTH 40'), BLOCK 2, TWIN LAKE ADDITION

BUILDER OFFERS TO PURCHASE THIS LOT FOR \$_____ (MINIMUM IS \$100,000)

This proposal is not a purchase agreement or other binding contract. At this time, the Builder is submitting a proposal to purchase this lot from the Economic Development Authority of the City of Crystal (EDA) and build a new residential building on the lot in accordance with the Proposal Guidelines. If, after a public hearing, this proposal is accepted by the EDA Board, then the Builder would sign a Purchase & Development Agreement and provide \$2,000 earnest money for the lot. Only after such Agreements are signed would a binding contract exist between the EDA and the Builder.

BUILDER: *(Builder must be a Residential Building Contractor licensed by the State of Minnesota. Alternatively, a Contractor Registration with the state may be acceptable, depending on the contractor's history and qualifications.)*

Name: _____ State License Number: _____

Tel (1): _____ Tel (2): _____ Fax: _____

Address: _____ City/State/Zip: _____

Email: _____

Signature Date

REQUIRED ATTACHMENTS AND ADDITIONAL INFORMATION:

- Approximate/example illustration of the type of building you would build on this lot.
- The EDA will only sell lots to builders who have experience in residential construction larger than a single-family dwelling in Minnesota. Please list the addresses of three buildings you have built in Minnesota within the last five years, or attach other evidence of qualification for review by the city:

Building #1: _____

Building #2: _____

Building #3: _____

SUBMIT PROPOSAL TO: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422
763.531.1142 or dan.olson@crystalmn.gov

Proposals may be submitted by hand delivery, U.S. Mail, or email (pdf format)

*****PROPOSALS MAY BE SUBMITTED AT ANY TIME AND WILL BE CONSIDERED ON A "FIRST COME, FIRST SERVED" BASIS*****

**Proposal Guidelines for
4741 Welcome Avenue North
Lots 3 and 4, except the south 40' thereof, Block 2, Twin Lake Addition**

- A. Legal Description.** The subject property is legally described as Lots 3 and 4, except the south 40 feet thereof, Block 2, Twin Lake Addition. The site location for the parcel is attachment A and a survey for the property is attachment B.
- B. Builder Selection Criteria.** Builders must meet the following requirements:
1. Licensed as a Residential Building Contractor by the State of Minnesota. Alternatively, a Contractor Registration with the state may be acceptable, depending on the contractor's history and qualifications. Proposals submitted by other parties will not be considered by the Economic Development Authority of the City of Crystal (EDA).
 2. Have experience in construction of buildings with two or more units. Builder shall provide the addresses of three buildings they have built in Minnesota within the last five years, or other evidence of qualification acceptable to the City. References from previous customers, suppliers, and inspectors may be requested by EDA staff.
 3. Be capable of closing on the lot purchase within two months of the required City Council approval of either a variance for a two-family dwelling or a site plan for a 3-6 unit building, and completing the building within two years of the closing date of the lot sale (See Section C, below).
- C. Procedure for Consideration of Builder Proposals.**
1. The EDA board has total discretion regarding whether to reject or accept a proposal.
 2. Builder proposals may be submitted anytime on a "first come, first served" basis. The following are to be submitted for the proposal:
 - A completed and signed proposal form
 - An approximate/example illustration of the type of building you would build on this lot. The Builder should select a building plan in accordance with Section D (5) of these Guidelines.
 3. After the proposal is received, EDA staff will review it and make a recommendation to the EDA board.
 4. If the proposal is acceptable to the EDA board, the board will hold a public hearing on the proposed lot sale and consider a resolution to authorize the lot sale to that Builder, contingent upon the following additional City Council approvals:
 - a) **Two-family dwelling.** The minimum density in the city's unified development code (UDC) for the property is 6 units per gross acre. If a two-family dwelling is constructed, the density would be 5.1 units per gross acre. Therefore, Builder will be required to receive approval of a variance to reduce the minimum density from 6 units/acre to 5 units/acre.
 - The application and escrow fee for the variance will be paid for by the EDA.
 - City staff will prepare the application for you.
 - If your proposal is selected by the EDA, then you must submit the signed variance application.
 - The Planning Commission will hold the public hearing for the variance with a decision on the variance by the City Council expected at a subsequent meeting.

- b) **Three to six unit building.** The UDC requires approval of a site plan application for the new building.
 - The application and escrow fee for the application will be paid for by the EDA.
 - City staff will prepare the application for you, but you will need to prepare detailed site and building plans.
 - If your proposal is selected by the EDA, then you must submit the signed application and the detailed site and building plans.
 - The Planning Commission will hold the public hearing for the site & building plan with a decision by the City Council expected at a subsequent meeting.
5. No later than 10 days after City Council approval of either a variance or site plan as described above, Builder must sign the Purchase and Development Agreement and pay \$2,000 earnest money for the lot.
6. No later than 60 days after the required City Council approval of either a variance or a site plan as described above, Builder must close on its purchase of the lot. At closing, the Builder shall make full payment for the remaining lot price (the EDA does not provide interim financing). To save time, Builder may begin the building permit application process before the closing date (see Section E, below). However, the permit will not be issued until Builder has closed on the lot.
7. No later than two years after its closing on the purchase of the lot, Builder must complete the building.

D. Specifications.

1. Grading and Drainage.

- a) The elevation may be refined by Builder and EDA staff prior to issuance of the building permit. Upon completion of the final grade but prior to installing landscaping, EDA staff may require the Builder to submit an as-built survey to the Building Official showing the final grade elevations.
- b) Drainage from the building, driveway and any other structures shall be accommodated on the site so that water flow onto adjacent properties is minimized. If determined by the Building Official to be necessary, Builder will install rain gutters to direct roof runoff to minimize impacts on adjacent properties. Builder will restore any disturbed turf or landscaping.
- c) Builder will follow Best Management Practices to minimize erosion and runoff onto adjacent properties and public ways. At a minimum, Builder will install silt fencing or wattle logs, and a temporary rock construction entrance to prevent runoff silt from flowing onto the street or adjacent properties. These erosion control measures should be installed at the beginning of building construction as this is the first inspection completed by the Building Official.

2. Utilities.

- a) Utility meters shall be reasonably screened from street view; locations must be specified on the plans submitted with the building permit application.
- b) All utility service lines shall be underground. Utilities may locate necessary facilities such as pedestals or boxes in the street right-of-way or utility & drainage easements.
- c) Any expenses for connection of the building to utilities shall be the responsibility of Builder.

- d) Municipal water. Municipal water is available by an 8" water main using an existing service stub. There are no WAC charges. See attachment C for utility locations.
 - e) Municipal sanitary sewer. Municipal sanitary sewer is available in Welcome Avenue. See attachment C for utility locations. Builder must pay the Metropolitan Council Environmental Services (MCES) SAC charge at time of building permit approval. **MCES has indicated that there are three demolition credits for the property.**
 - f) Private utilities, including but not limited to natural gas (Centerpoint Energy), electricity (Xcel Energy), telephone (CenturyLink), and cable television (Comcast), shall be connected underground only.
 - g) Questions regarding municipal utilities should be directed to Engineering Project Manager Mick Cyert at 763.531.1161 or mick.cyert@crystalmn.gov. Questions regarding private utilities should be directed to the respective utility company.
3. **Driveway.** The EDA strongly prefers that vehicular access to garages or parking areas be exclusively via the alley, but will consider proposals with access from Welcome Avenue if necessary to achieve a high quality and functional design.

If the proposal is for a two family dwelling with driveway access from Welcome Avenue, please note the following specific requirements for that scenario:

- A hard surfaced driveway, with a concrete apron between the curb cut and the street right-of-way is required to provide access to the new building.
- Driveway width shall not exceed 22 feet at the front lot line.
- The building permit application must include a site plan showing the proposed driveway(s).
- If a second curb cut is proposed from Welcome Avenue, the curb cuts and driveway approaches must be at least 10' apart, and the total width of the curb cuts cannot exceed 40'.

4. **General Construction Practices.** The construction site, neighboring property and adjacent public streets shall be kept free of construction debris at all times, and Builder must have a construction dumpster to prevent debris from being scattered or blown around. No construction workers, construction equipment or construction material shall enter neighboring properties without said property owner's consent.

5. **Building Standards.**

- a) Compliance with Crystal City Code.
- b) Minimum required setbacks for any building are as follows:

- Front/rear: 30'
- Sides: 15'

City Code does have some limited exceptions to these setbacks, such as for bump-outs, porches, etc. Please contact Dan Olson at 763.531.1142 or dan.olson@crystalmn.gov if interested.

- c) **Two-family dwelling.** The following are design standards for a two-family dwelling:
 1. Each unit shall have at least three bedrooms and two bathrooms.
 2. It is desirable for each unit to have a full depth basement or a split level / garden level type of basement. At a minimum, the basement shall have at least one egress window and a rough-in for a future ¾ bath. Additional basement windows are desirable. Proposals without a basement will only be considered if the design is

targeted towards an accessible, one-level-living market niche and provides sufficient storage and flex space to make up for the lack of a basement.

3. Exterior materials (siding, soffit, doors and windows) shall be low maintenance. The use of brick or stucco is encouraged. Fiber cement siding or wood siding with natural resistance to decay are encouraged but they must be properly stained or painted. Vinyl or other low maintenance siding materials are generally acceptable and can be made more desirable through the use of shakes, fish scales or other styles to break up the pattern. Hardboard panels or hardboard lap siding (commonly called Masonite) are not acceptable.
4. Each unit shall have a garage for at least two cars.
5. The design should emphasize the front door as the focal point for the front of each unit. A large and usable (minimum depth 6 feet) front porch is desired. Garage door dominance in design should be minimized as much as possible, such as by using separate doors for each stall.
6. Plans should present a balanced and pleasing distribution of wall and window areas from all views. Blank walls are not permitted; each exterior wall shall have some windows. Corner rooms should have windows on both walls, if possible. To the extent that southern exposures are present, house designs are expected to enhance wintertime natural light and passive solar heating.
7. No equipment such as air-conditioning cooling structures or condensers that generate noise shall be located within a side setback, drainage & utility easement, or within 10 feet of living quarters located in a building on adjacent property.
8. The lot shall be landscaped to be aesthetically pleasing in all seasons. Land forms and plant materials shall be used to define the site and blend neatly with adjoining property. The large arborvitaes along Welcome Avenue shall be removed from the property. At a minimum the following tree planting is required for each unit:
 - In the front yard, plant one large-species deciduous shade tree.
 - In any yard, plant one evergreen or ornamental tree.

Attachment D is a listing of tree species allowed by the City. If Builder desires to close on the sale of the new building prior to completion and acceptance of the landscaping, the City may require that funds be escrowed by the Builder to guarantee that landscaping is completed in a timely manner after closing.

- d. **Three to six unit building.** If Builder proposes to construct a three to six unit building, Builder shall submit detailed site and building plans for a Planning Commission public hearing and City Council decision. The following are further requirements for this building type:

1. The EDA prefers that each unit have three bedrooms and two bathrooms, but will consider units with a lesser number of bedrooms and bathrooms if necessary to achieve the maximum density of 6 units on the site.
2. Two parking spaces shall be provided for each unit, one of which must be enclosed in a garage. Garages may be attached or detached.
3. No more than 75% of the lot can be covered by impervious surfaces (i.e. buildings, parking lot, patios, and sidewalks).
4. Plans should present a balanced and pleasing distribution of wall and window areas from all views. Blank walls are not permitted; each exterior wall shall have some

windows. Corner rooms should have windows on both walls, if possible. To the extent that southern exposures are present, building design is expected to enhance wintertime natural light and passive solar heating.

5. Except for basement (garden level) apartments, each unit shall have a deck or patio.
6. The large arborvitaes along Welcome Avenue shall be removed from the property. At a minimum the following tree planting is required for the property:
 - Plant two large-species deciduous shade trees.
 - In any yard, plant four other trees from the city's approved tree species list (attachment D).

6. **Property Tax Status.** The lot and the improvements thereon must remain on the property tax rolls, shall be classified as taxable residential property, and may not be reclassified in any way that makes it exempt from property taxes.

E. Building Permit Application Process.

When applying for a building permit to construct the new building, Builder will need to provide a complete building permit application, including the following items:

- Plans drawn by a licensed architect (3 copies)
- Land Survey (3 copies) with building elevations, drainage patterns and easements
- Energy Calculations
- For a two-family dwelling:
 - Photo of the sign to be posted in accordance with City Code Section 403
 - Escrow form

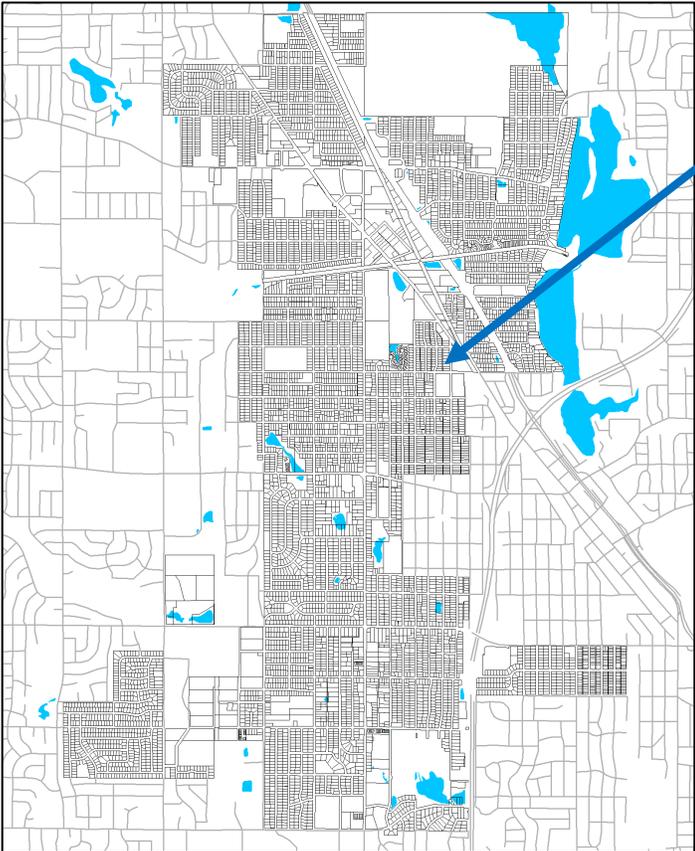
Questions regarding building permit forms, fees, inspections, etc. should be directed to the Administration counter (763.531.1000). The Building Official and City staff will review all plans to assure conformance with Builder's proposal, these Guidelines and the house plan approved by the City. If any element of the plan is in conflict with the above criteria, City staff will notify Builder of any conflicts and note which changes are required. Unless the modifications can be clearly indicated on the originally submitted plans, Builder shall submit revised plans for final approval by the Building Official and City staff.

F. List of Attachments:

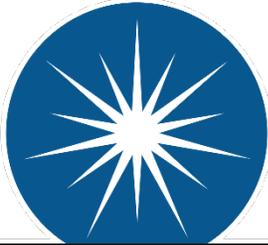
- A. Map and 2018 aerial showing location of subject property
- B. Property survey updated May 15, 2019
- C. Utility locations
- D. List of trees species allowed for planting

Site Location Map

Attachment A



4741 Welcome Ave. N



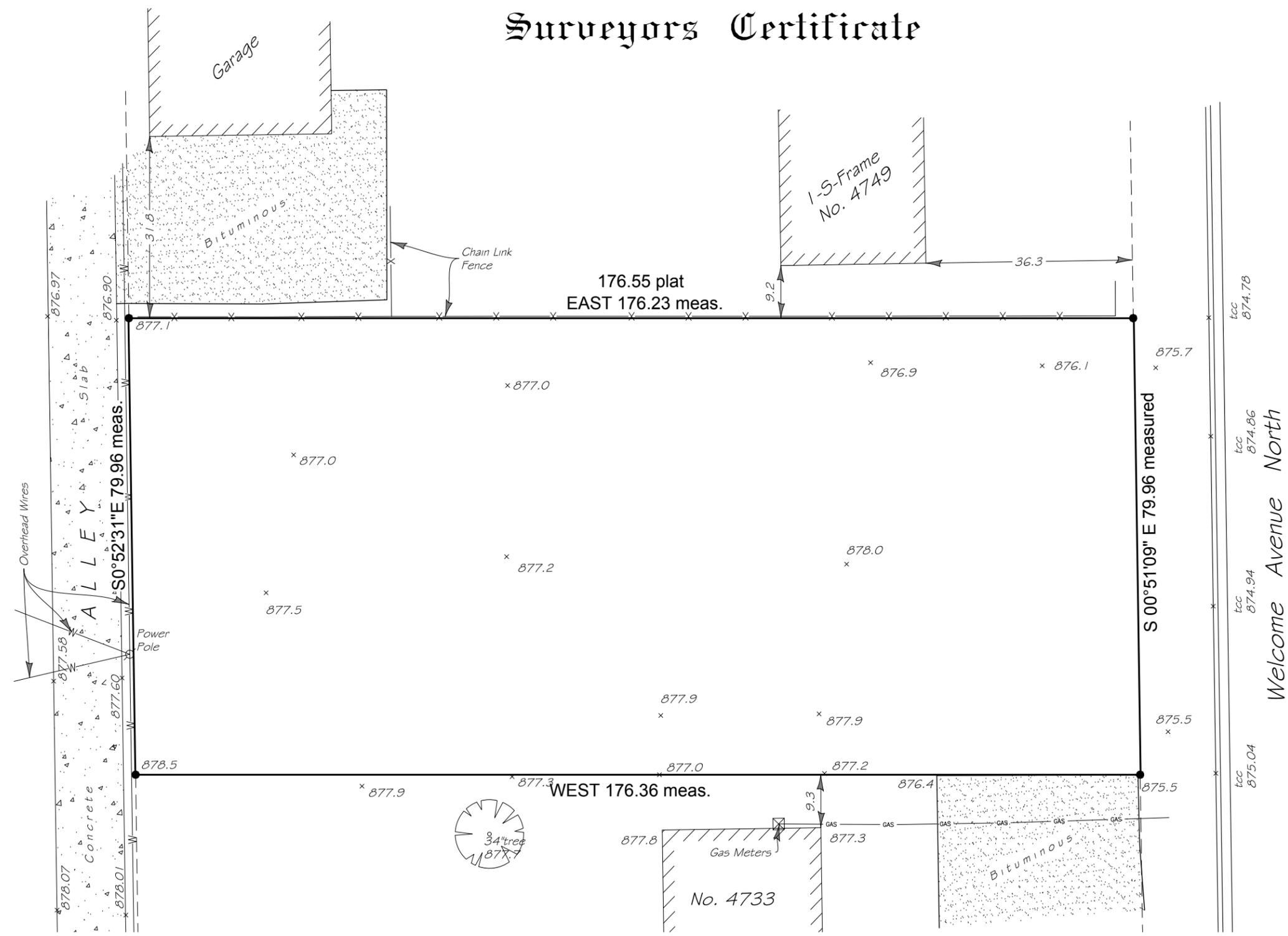
CITY of CRYSTAL

4141 Douglas Dr. N.
Crystal MN 55422

Surveyors Certificate

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- Denotes Existing Contours
- ~ Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- 000.0 Denotes Proposed Elevation
- ← Denotes Surface Drainage

Basis for bearings is assumed



Attachment B

Benchmark:
Top nut of hydrant at the northeast corner of
47th Avenue N. and Welcome Avenue.
Elevation = 879.21 NGVD

Property Address: 4741 Welcome Ave. N.
Crystal, Minnesota 55429

Existing Conditions Survey For:

CITY OF CRYSTAL

Property located in Section
9, Township 118, Range 21,
Hennepin County, Minnesota

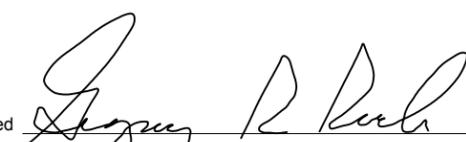
Legal Description
Lots 3 and 4, except the South 40 feet thereof,
Block 2, TWIN LAKE ADDITION
Hennepin County, Minnesota

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 DemarcInc.com

Project No. 78538a Scale: 1" = 20'
F.B.No. 1049-26 Drawn By J. Munson
Address: 4741 Welcome Avenue North
Crystal, MN

rev

I certify that this survey, plan, or report was prepared by me or under my
direct supervision and that I am a duly Licensed Land Surveyor under
the laws of the State of Minnesota
Surveyed this 15th day of May 2019.

Signed 
Gregory R. Frasch, Minn. Reg. No. 24992



CITY of CRYSTAL



48th Avenue North

Welcome Avenue North

Legend

- Hydrants
- Water System Valves
- Water Curb Stops
- Water Lateral Lines
- Water Mains
- Sanitary Sewer Mains Owned By**
- Crystal
- Other
- Private
- Sanitary Sewer Manholes
- Sewer Lateral Lines
- Storm Sewer Lines
- Storm Inlets
- Storm Manholes

4755

4749

4741

4733

4725

4719

285

220

162

72

37

120

564' N OF HYDRANT

527' N OF HYDRANT

442' N OF HYDRANT

361' N OF HYDRANT

280' N OF HYDRANT

Attachment C

Feet



4754

4748

4742

4736

4730

4724

4700



Approved Tree List Attachment D

Common Name	Botanical Name	Common Name	Botanical Name
Accolade Elm	<i>Ulmus 'Accolade'</i>	Littleleaf Linden	<i>Tilia cordata</i>
American Hophornbeam (aka Ironwood)	<i>Ostrya virginiana</i>	Mugo Pine	<i>Pinus mugo</i>
American Larch	<i>Larix laricina</i>	Northern Catalpa	<i>Catalpa speciosa</i>
American Linden	<i>Tilia Americana</i>	Norway Spruce	<i>Picea abies</i>
American Sycamore	<i>Platanus occidentalis</i>	Ohio Buckeye	<i>Aesculus glabra</i>
Amur Chokeberry	<i>Prunus maackia</i>	Prairie Dream Paper Birch	<i>Betula papyrifera 'Varen'</i>
Amur Cork Tree	<i>Phellodendron amurense</i>	Prairie Expedition Elm	<i>Ulmus Americana 'Lewis & Clark'</i>
Amur Maackia	<i>Maackia amurensis</i>	Princeton Elm	<i>Ulmus Americana 'Princeton'</i>
Asian White Birch	<i>Betula playphylla</i>	Quaking Aspen	<i>Populus tremuloides</i>
Austrian Pine	<i>Pinus nigra</i>	Red Buckeye	<i>Aesculus pavia</i>
Autumn Splendor Buckeye	<i>Aesculus 'Autumn Splendor'</i>	Red Oak	<i>Quercus rubra</i>
Balsam Fir	<i>Abies balsamea</i>	Red Pine	<i>Pinus resinosa</i>
Black Hills Spruce	<i>Picea glauca</i>	River Birch	<i>Betula nigra</i>
Black Tupelo	<i>Nyssa sylvatica</i>	St. Croix Elm	<i>Ulmus Americana 'St Croix'</i>
Blue Beech (aka Musclewood)	<i>Carpinus caroliniana</i>	Scots Pine	<i>Pinus sylvestris</i>
Bottlebrush Buckeye	<i>Aesculus parviflora</i>	Silver Linden	<i>Tilia tomentosa</i>
Bur Oak	<i>Quercus macrocarpa</i>	Speckled Alder	<i>Alnus regosa</i>
Common Hackberry	<i>Celtis occidentalis</i>	Swamp White Oak	<i>Quercus bicolor</i>
Common Horsechestnut	<i>Aesculus hippocastanatum</i>	Sweet Birch	<i>Betula lenta</i>
Crabapple	<i>Malus spp.</i> (disease-resistant spp.)	Thornless Honeylocust	<i>Gleditsia triacanthus inermis</i>
Cucumber Tree	<i>Magnolia acuminata</i>	Tree Lilac	<i>Syringa reticulata</i>
Douglas Fir	<i>Pseudotsuga menziensis</i>	Triumph Elm	<i>Ulmus 'Morton Glossy'</i>
Downy Serviceberry (tree form)	<i>Amelanchier arborea</i> (tree form)	Valley Forge Elm	<i>Ulmus Americana 'Valley Forge'</i>
Eastern Hemlock	<i>Tsuga Canadensis</i>	White Oak	<i>Quercus alba</i>
Eastern Redbud (northern strain)	<i>Cercis Canadensis</i>	White Pine	<i>Pinus strobus</i>
European Hornbeam	<i>Carpinus betulus</i>	Yellow Birch	<i>Betula alleghaniensis</i>
Ginkgo (aka Maidenhair Tree)	<i>Ginkgo biloba</i> (male tree only)	Yellow Buckeye	<i>Aesculus flava</i>
Harvest Gold Mongolian Linden	<i>Tilia mongolica 'Harvest Gold'</i>	Yellowhorn	<i>Xanthoceras sorbifolium</i>
Hybrid Serviceberry (tree form)	<i>A. arborea x grandiflora</i> (tree form)	Yellowwood	<i>Cladrastus kentukea</i>
Katsura Tree	<i>Cerdidiphyllum japonicum</i>		
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>		
Large-leaved Linden	<i>Tilia platyphyllos</i>		
Liberty Elm	<i>Ulmus Americana 'Liberty'</i>		