



2013 Application for Special Land Use Action

Staff contact: John Sutter
 tel: 763-531-1142 fax: 763-531-1188
john.sutter@crystalmn.gov
 4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

PROPERTY: Address: 5510-5590 W. BROADWAY AVE Henn. Co. P.I.D. 05-118-21-44-0046

PROJECT TITLE: CRYSTAL GALLERY - PLANNED DEVELOPMENT

APPLICANT: AARCHITECTS LLC / JEFFREY P. AGNES AIA Tel: 612-371-6440

Email address: JAGNES@AARCHITECTSLLC.COM Fax: 612-332-0710

U.S. Mail address: 100 PORTLAND AVE. S. / SUITE 100 / MINNEAPOLIS, MN 55401

PROPERTY OWNER: CRYSTAL GALLERY DEVELOPERS Tel: 763-513-4655

Email address: GREGHA@LUPIENT.COM Fax: 763-417-2915

U.S. Mail address: 5510 W. BROADWAY AVE / CRYSTAL, MN 55428

TYPE OF APPLICATION:
(check all that apply)

APPLICATION FEE (nonrefundable)

ATTACHMENTS TYPICALLY REQUIRED (explanation on back)

<input type="checkbox"/>	Administrative Appeal	\$200	1 - - - - 6 - 8
<input type="checkbox"/>	Comprehensive Plan Amendment	\$500	- - - - - 6 - 8
<input checked="" type="checkbox"/>	Conditional Use Permit	\$500 (PER J. SUTTER)	1 - - - - 6 - 8
<input type="checkbox"/>	Lot Division / Realignment of Lot Lines	\$500	- - 3 - - 6 - 8
<input type="checkbox"/>	Plat	\$500 + \$50 per lot over 2	- 2 - - 5 6 - 8
<input type="checkbox"/>	Rezoning or Zoning Text Amendment	\$500	- - - - - 6 - 8
<input type="checkbox"/>	Site Plan Review	\$500	- 2 - 4 - 6 7 8
<input type="checkbox"/>	Vacation of a public street or easement	\$500	- 2 - - - 6 - 8
<input type="checkbox"/>	Variance	\$500	1 - - - - 6 - 8
<input checked="" type="checkbox"/>	Planned Development	\$1,000	- 2 - - 5 6 7 8
<input type="checkbox"/>	Telecommunication Tower	\$5,000	- 2 - 4 - 6 7 8
<input type="checkbox"/>	Storm Water Management Plan	(no fee)	- 2 - 4 - 6 7 8

TOTAL FEE: \$ 1000 ATTACHMENTS: 1, 2, 3, 4, 6, 7, 8

SIGNATURES: The applicant and property owner certify that:

- I am making application for the described action by the City and am responsible for complying with all requirements with regard to this request. This application should be processed in my name. The City should contact me regarding any matter pertaining to this application.
- I have read and do understand the instructions supplied by the City of Crystal for processing this application, and I will keep myself informed of the deadlines for submission of material and of the progress of this application.
- The documents and information I have submitted are true and correct to the best of my knowledge.

[Signature]
APPLICANT

9/20/13
(date)

[Signature] 9-20-13
PROPERTY OWNER (date)

FOR OFFICE USE ONLY:	Application # <u>2013-12</u>	Accounting # <u>0100.4418</u>	Receipt # <u>109891</u>	Date Received <u>9-20-13</u>
Acknowledgement letter sent <u>9/23/2013</u> If application incomplete, was 60-day rule language included? <u> </u>				
Plan Comm hearing <u>10/14/2013</u> City Council action <u> </u> / <u> </u> / <u> </u> Approved? Yes <u> </u> No <u> </u> Other <u> </u>				
NOTES: <u> </u>				



TABLE OF PROJECT COST for certain types of applications for Special Land Use Actions

TO BE COMPLETED BY THE APPLICANT:

Address of Subject Property: 5502 West Broadway

Description or Name of Project: Crystal Gallery Mall

\$ <u>98,000</u>	Engineering, Architectural and Legal Expenses
\$ <u>0</u>	Site Preparation (grading, filling, tree removal)
\$ <u>40,000</u>	Utilities (water, sanitary sewer and storm sewer)
\$ <u>390,000</u>	Streets, Sidewalks, Parking (and other paved areas)
\$ <u>40,000</u>	Other Site Improvements (lighting)
\$ <u>660,000</u>	Construction of Buildings (materials and labor)
\$ <u>1,228,000</u>	TOTAL PROJECT COST (not including landscaping)

(FOR STAFF USE ONLY)

APPLICATION #:
2013-12

SURETY REQUIRED:

\$ <u>—</u>	
\$ <u>—</u>	
\$ <u>10,000</u>	(25%)
\$ <u>195,000</u>	(50%)
\$ <u>—</u>	
\$ <u>—</u>	

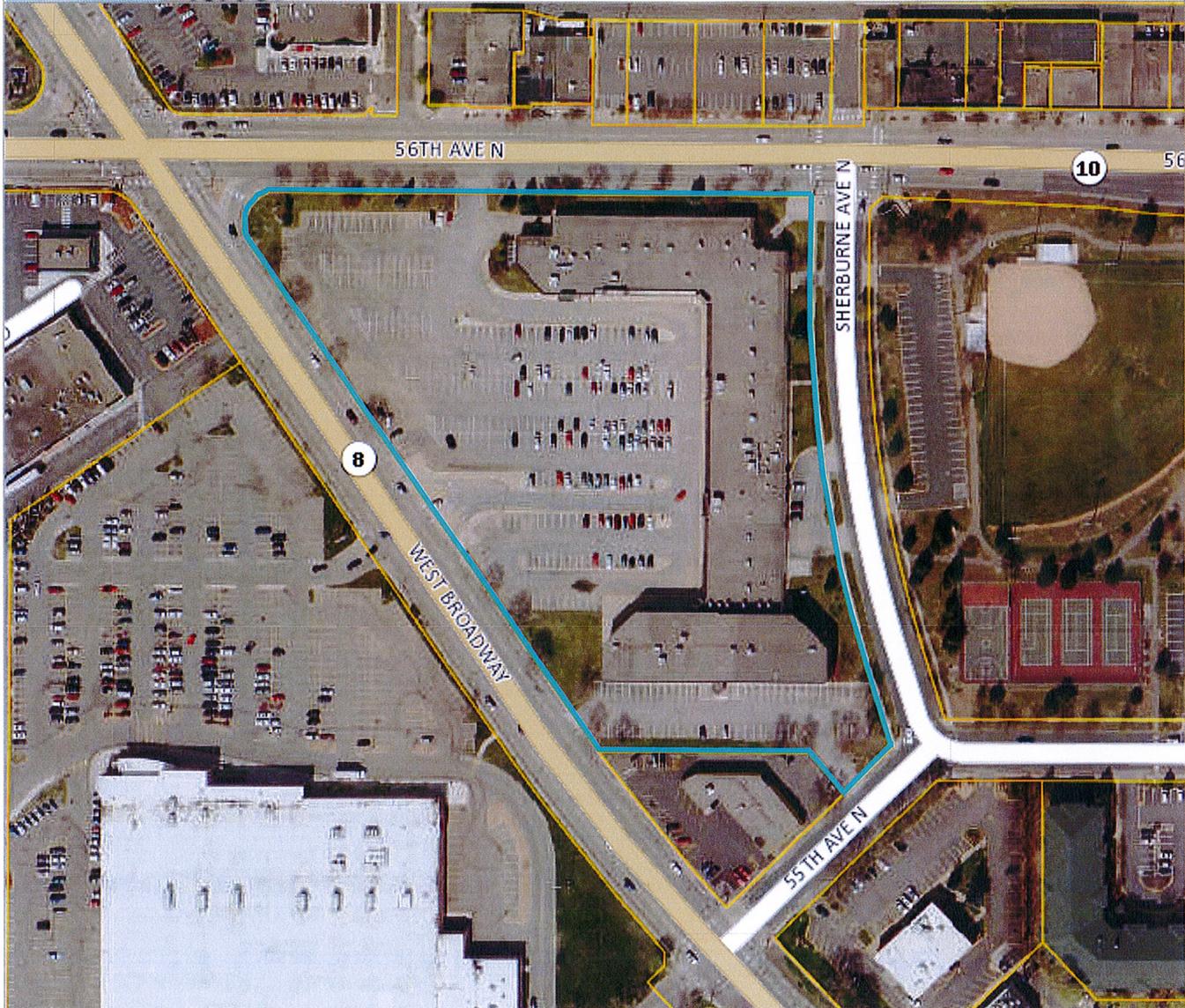
If the total project cost is...	Then the minimum landscaping value is...
Below \$1,000,000	2% of the total project cost
From \$1,000,001 to \$2,000,000	\$20,000 + 1% of total project cost in excess of \$1,000,000
From \$2,000,001 to \$3,000,000	\$30,000 + 0.75% of total project cost in excess of \$2,000,000
From \$3,000,001 to \$4,000,000	\$37,500 + 0.25% of total project cost in excess of \$3,000,000
Over \$4,000,000	1% of total project cost

\$ 22,280 Landscaping (must meet the minimum value above)

\$ 22,000 (100%)

\$ 227,000 TOTAL SURETY REQUIRED *

*Surety amount will be broken up into smaller projects, per project phasing. Separate site impr. agmts. for each phase. *[Signature]* 9/23/12



Parcel ID: 05-118-21-44-0046

Owner Name: Crystal Gallery Developers

Parcel Address: 5502 West Broadway
Crystal, MN 55428

Property Type: Commercial-Preferred

Home-stead: Non-Homestead

Parcel Area: 7.74 acres
337,362 sq ft

A-T-B: Both

Market Total: \$4,600,000

Tax Total: \$200,040.72
(Payable: 2013)

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" ≈ 200 ft.

Print Date: 8/15/2013



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September 20, 2013

612 371-6440 T
612 332-0710 F

jagnes@aarchitectsllc.com

City of CrystalCrystal Gallery
5510-5590 West Broadway Ave.
Crystal, MN 55428

Re: Planned Development Application

PROJECT NARRATIVE

Please find attached the required submittal plans and application for a rezoning of the 7.74 acre property from its current C-2, General Commercial zoning, to a City of Crystal Planned Development.

The Crystal Gallery is proposing three major efforts to revitalize the property, (1) the addition of a new 6,000 s.f. pad building at the corner of Broadway and Base Lake Rd., (2) a redesign and resurfacing of the entire front/west parking lot, and (3) a “de-malling” and exterior remodel of the retail portion of the existing main building.

1. The proposed new pad building, at the most visible location on the property, and anchored by a prominent upscale drive-thru coffee use, is a critical piece towards improving the image and vitality of the existing center. The 6,000 s.f. building will be a one-level, multi-tenant retail/restaurant use with a drive-thru and outdoor patios. New colors and materials will be introduced at the new pad building and brought into the existing retail building to create a harmonious development.
2. The parking lot is proposed to be redesigned to accommodate the new pad building and improve the flow, safety, parking and esthetic impact of the main building and entire site. Pedestrian connections are planned to allow direct access to the main building from both the south and north ends of Broadway, to and through the new pad building, as well as directly from Bass Lake Rd. A reoriented lot simplifies flow in and out of the property and increases pedestrian safety and convenience by separating moving traffic from pedestrians. Abundant landscaping will be added throughout the site, including the addition of ecologically responsible rain gardens and islands, reducing the overall impervious surface by over 5000 sf. Due to a more efficient layout, the parking count will actually increase by five stalls from 394 existing to 399 proposed, while still within the current city requirement for the site (372 stalls min. and 445 stalls max.), the overall ratio of building to parking area will decrease, becoming more consistent with trends to reduce unnecessary seas of parking. Existing utility connections will be maintained.
3. The retail portion of the existing building is proposed to be “de-malled” with the reclaimed area being added to the individual tenant spaces, each tenant having its own entrance, and with modified HVAC to cover the new additional area. The sidewalk at the tenant storefronts will be widened to accommodate the new entries, with the addition of a new colored concrete border. Existing “mall” entries will be converted to tiered planter areas with new “Crystal Gallery” branding and harmonious materials and colors tying back to the new pad building. The existing outdated “solarium” look will be converted to a more functional new metal roof and EIFS tenant

September 20, 2013

sign band, again using colors and materials in harmony with the new pad building. New tenant signage will be standardized with internally lit channel letters complying with the City signage ordinance.

Attached to this submittal package are the following items; we have also included full-sized plans where appropriate:

- Application form and check for review fees
- Written Narrative
- Table of Estimated Project Cost
- Property Survey prepared by HTPO
- Site Photometrics Plan
- Architectural Plans as listed below:
 - SK-1 Pad Building Proposed Floor Plan
 - SK-2 Pad Building Proposed Exterior Elevations
 - SK-3 Main Building Proposed Floor Plan & Exterior Elevations
- Civil Plans as listed below:
 - Hydrology for Crystal Gallery including Existing and Proposed Areas
 - C1.0 Selective Site Demolition Plan
 - C2.0 Grading, Drainage, and Erosion Control Plan
 - C3.0 Utility Plan
 - C4.0 Geometric and Paving Plan
 - C5.0 Civil Details
 - C5.1 Civil Details
 - C6.0 Storm Water Pollution Prevention Plan
- Landscape Plans as listed below:
 - L100 Landscape Plan
 - L101 Enlarged Landscape Plans and Plant Schedule
 - L200 Landscape Notes and Details

Project phasing is anticipated to proceed with the pad building and corresponding surrounding site construction kicking off the development. Site improvements for the remainder of the site will follow with the de-malling and building remodel effort occurring as the tenant vacancies are leased up.

Finally, we believe the proposed plan development will “preserve and enhance the natural and built environment” and the property will “create a harmonious relationship of buildings and open spaces with natural site features and buildings that are in visual relationship”.

We ask for your support and approval.



Aarchitects LLC,
Jeffrey P. Agnes AIA
JPA/jpa

Cc:

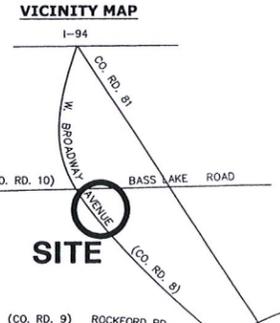
Greg Hayes – Crystal Gallery Developers
Greg Duginski – Midwest Mechanical and Maintenance

BASS LAKE ROAD (55th AVE. NORTH)
(C.O. ROAD 10)

CERTIFICATION:
The undersigned surveyor ("Surveyor"), a licensed land surveyor in the state identified below Surveyor's signature, hereby certifies to Crystal Gallery Developers, a Minnesota General Partnership ("Borrower"), M&I Marshall & Isley Bank ("Lender") and LandAmerica Commonwealth Land Title Insurance Company ("Title Company") as follows:

- A. This is a true and correct survey of:
Lot 1, Block 1, HRA 3rd Addition.
- Portions of which are Torrens property and are described as follows:
Parcel 1:
That part of Lot 1, Block 1, HRA 3rd Addition, embraced within that part of Lot 2, Block 1, "Fergus J. McArdle's Crystal Manor, Hennepin County, Minnesota" lying West of a line drawn from a point on the North line of said Lot 2 distant 135 feet West of Northeast corner of said Lot 2 to a point on the South line of said Lot 2 distant 139 feet West of the Southeast corner of said Lot 2, according to the plat thereof on file or of record in the office of the Registrar of Titles in and for said County.
- Parcel 2:
That part of Lot 1, Block 1, HRA 3rd Addition, embraced within Lots 4, 9, 10 and 12, Block 1, "Fergus J. McArdle's Crystal Manor, Hennepin County, Minnesota", according to the plat thereof on file or of record in the office of Registrar of Titles in and for said County.
- Parcel 3:
That part of Lot 1, Block 1, HRA 3rd Addition embraced within the following described Tracts 1 and 2:
Tract 1:
That part of the North Half of vacated Ethel Place, dedicated in the plat of "Fergus J. McArdle's Crystal Manor Addition, Hennepin County, Minn." lying between the extensions across it of the center line of the vacated alley dedicated in Block 1 of said plat and the extension across it of the East line of Lot 12, Block 1, said plat.
Tract 2:
That part of the vacated alley dedicated in Block 1, "Fergus J. McArdle's Crystal Manor Addition, Hennepin County, Minn.", except those parts of said vacated alley lying Westerly of the center line thereof and between the extensions across said vacated alley of the North and South lines of Lot 11, said Block 1, and except that part of said vacated alley lying West of the center line of said vacated alley and Northerly of a line drawn from the most Westerly Southwest corner of Lot 4, said Block 1, to the Southeast corner of Lot 3, said Block 1.
- Parcel 4:
That part of Lot 1, Block 1, HRA 3rd Addition embraced within Tract A, Registered Land Survey No. 516, Files of Registrar of Titles, according to the plat thereof on file or of record in the office of the Registrar of Titles in and for said County.
- Parcel 5:
That part of Lot 1, Block 1, HRA 3rd Addition, embraced within Lot 1, Block 1, Carl W. Peterson Addition, according to the plat thereof on file or of record in the office of the Registrar of Titles in and for said County.
(the "Property").
- B. This refers to LandAmerica Commonwealth (the "Title Company") Commitment No. 218880 dated July 31, 2008 for the Property.
- C. This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1 through 4, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(b), and 13 through 15 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Minnesota, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
- D. The Property contains 7.7445 acres (i.e. 337,350 square feet).

Date: 02 September 2009
D. Daniel Thorp, Land Surveyor
Minnesota License Number 16321



ALTA/ACSM
LAND TITLE SURVEY

CRYSTAL GALLERY MALL
LOT 1, BLOCK 1,
HRA 3RD ADDITION

HTPO Engineering · Surveying
Landscape Architecture
HANSEN THORP PELLINEN OLSON, Inc.
7510 Market Place Drive • Eden Prairie, MN 55344
952-829-0700 • 952-829-7800 fax

Revision
09/03/08 prkg count

Project No. 08-058
Drawn by NIC/DRC
Checked by
Book/Page N/A
Date
Client: LUIPENT

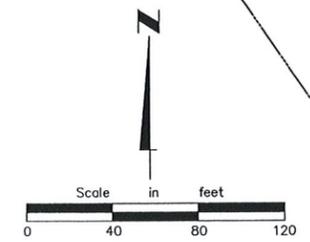
- LEGEND**
- IRON MONUMENT FOUND
 - IRON MONUMENT TO BE SET
 - ⊙ BOLLARD
 - ⊕ POWER POLE
 - ⊙ LIGHT POLE
 - ⊕ GAS VALVE
 - ⊙ GAS METER
 - ⊕ WATER VALVE
 - ⊙ HYDRANT
 - ⊕ CATCH BASIN
 - ⊙ MANHOLE
 - ⊕ SIGN
 - ⊕ TRANSFORMER
 - ⊕ HANDICAPPED
 - ⊕ TRAFFIC LIGHT
 - ⊕ TRAFFIC BOX
 - ⊕ TELEPHONE BOX
 - ⊕ ELECTRICAL HANDHOLE
- STORM SEWER
--- SANITARY SEWER
--- WATER MAIN
--- GAS LINE
--- TELEPHONE LINE
--- ELECTRICITY
- (M) MEASURED DISTANCE
(P) PLATTED DISTANCE

SCHEDULE B - SECTION TWO EXCEPTIONS:

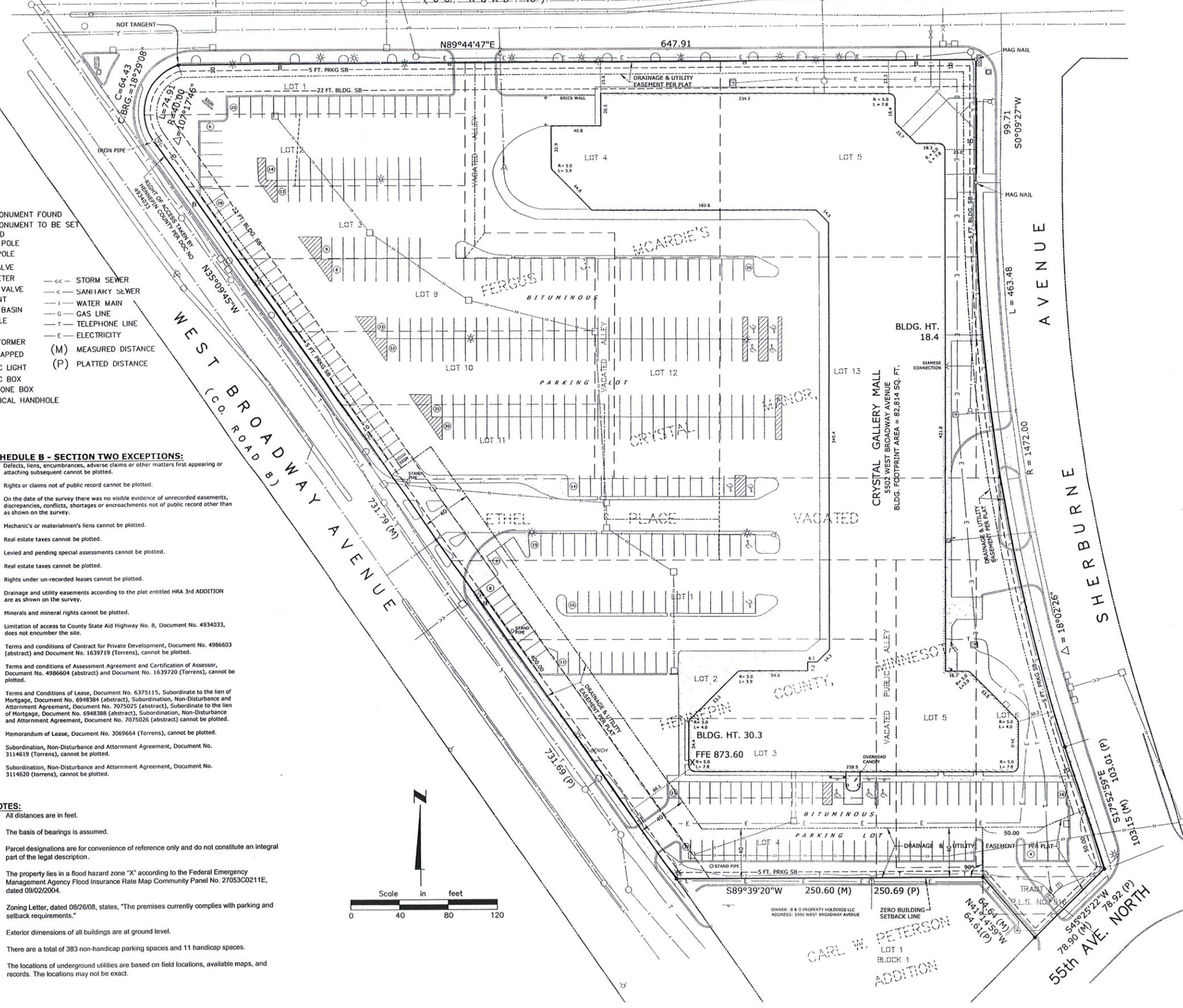
1. Defects, liens, encumbrances, adverse claims or other matters first appearing or attaching subsequent cannot be plotted.
2. Rights or claims not of public record cannot be plotted.
3. On the date of the survey there was no visible evidence of unrecorded easements, discrepancies, conflicts, shortages or encroachments not of public record other than as shown on the survey.
4. Mechanic's or materialmen's liens cannot be plotted.
5. Real estate taxes cannot be plotted.
6. Levied and pending special assessments cannot be plotted.
7. Real estate taxes cannot be plotted.
8. Rights under un-recorded leases cannot be plotted.
9. Drainage and utility easements according to the plat entitled HRA 3rd ADDITION are as shown on the survey.
10. Minerals and mineral rights cannot be plotted.
11. Limitation of access to County State Aid Highway No. 8, Document No. 4934033, does not encumber the site.
12. Terms and conditions of Contract for Private Development, Document No. 4986603 (abstract) and Document No. 1639719 (Torrens), cannot be plotted.
13. Terms and conditions of Assessment Agreement and Certification of Assessor, Document No. 4986604 (abstract) and Document No. 1639720 (Torrens), cannot be plotted.
14. Terms and Conditions of Lease, Document No. 6375115, Subordinate to the lien of Mortgage, Document No. 6948384 (abstract), Subordination, Non-Disturbance and Attornment Agreement, Document No. 7075025 (abstract), Subordinate to the lien of Mortgage, Document No. 6948388 (abstract), Subordination, Non-Disturbance and Attornment Agreement, Document No. 7075026 (abstract) cannot be plotted.
15. Memorandum of Lease, Document No. 3069664 (Torrens), cannot be plotted.
16. Subordination, Non-Disturbance and Attornment Agreement, Document No. 3114619 (Torrens), cannot be plotted.
17. Subordination, Non-Disturbance and Attornment Agreement, Document No. 3114620 (torrens), cannot be plotted.

NOTES:

1. All distances are in feet.
2. The basis of bearings is assumed.
3. Parcel designations are for convenience of reference only and do not constitute an integral part of the legal description.
4. The property lies in a flood hazard zone "X" according to the Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 27053C0211E, dated 09/02/2004.
5. Zoning Letter, dated 08/26/08, states, "The premises currently complies with parking and setback requirements."
6. Exterior dimensions of all buildings are at ground level.
7. There are a total of 383 non-handicap parking spaces and 11 handicap spaces.
8. The locations of underground utilities are based on field locations, available maps, and records. The locations may not be exact.



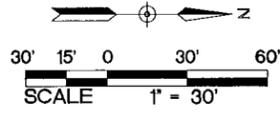
FILE: P:\2008\08-058\08-058.dwg JTB:awg LAYOUT: SURVEY
SCALE: 20 DATE/TIME: Sep 03, 2009 - 9:27 am
USER: HTPPO XREF: (s)



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
EROSION CONTROL BLANKET (TEMPORARY)	▨
BITUMINOUS REMOVAL	▨
CONCRETE REMOVAL	▨
PIPE REMOVAL	▨
CURB REMOVAL	▨
TREE REMOVAL	✕

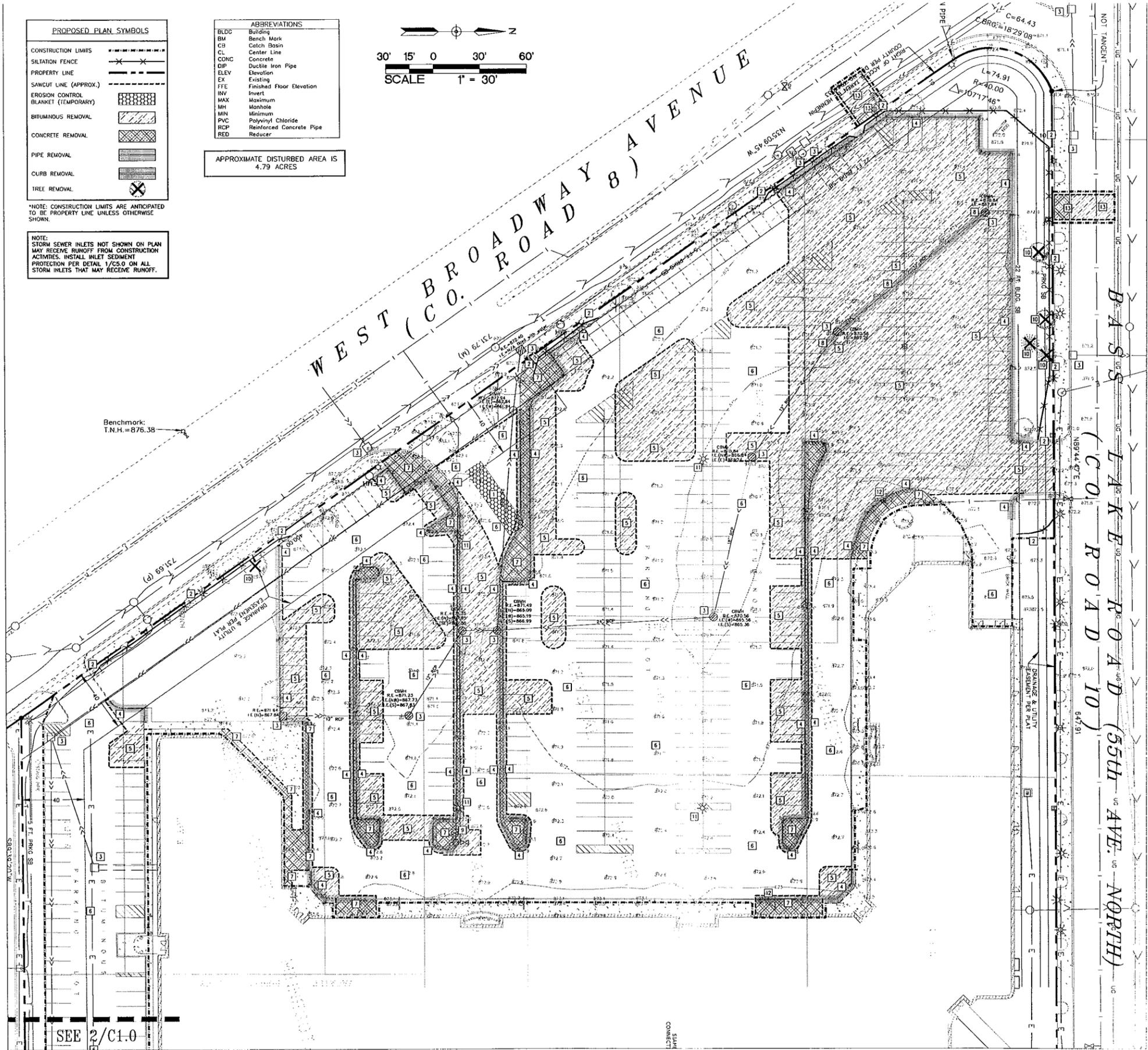
ABBREVIATIONS	
BLDG	Building
BK	Bench Mark
CB	Catch Basin
CL	Center Line
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FTE	Finished Floor Elevation
INVT	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RED	Reducer

APPROXIMATE DISTURBED AREA IS 4.79 ACRES



NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 1/C3.0 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.



KEYED NOTES

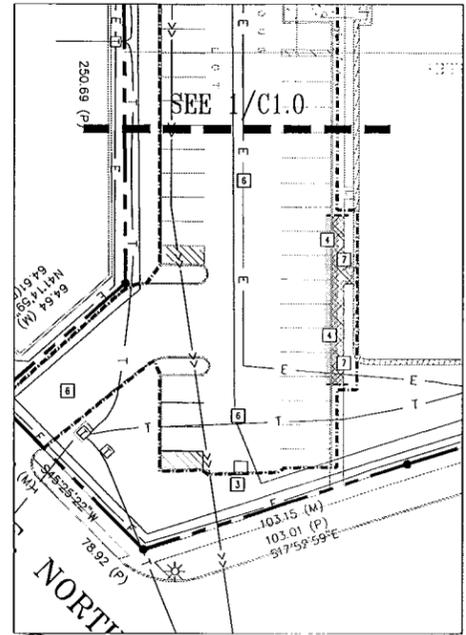
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C5.0.
 - INSTALL SILT FENCE. REFER TO DETAIL 3/C5.0.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 1/C5.0.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - HILL 1.0 INCHES OFF EXISTING PAVEMENT TO SAWCUT LINES, CURB AND GUTTER, AND CONCRETE PAVEMENTS.
 - REMOVE CONCRETE PAVEMENT/SIDEWALK/MEDIAN IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE STORM SEWER IN ITS ENTIRETY TO THE EXTENTS SHOWN. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS. COORDINATE EXTENT OF REMOVALS WITH UTILITY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
 - REMOVE WATER MAIN, HYDRANTS, AND VALVES IN THEIR ENTIRETY TO THE EXTENTS SHOWN. COORDINATE REMOVAL WITH NEW HYDRANT LOCATION. REFER TO SHEET C3.0. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS. COORDINATE EXTENT OF REMOVALS WITH UTILITY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE EXISTING LIGHT POLE IN ITS ENTIRETY. COORDINATE REMOVAL WITH UTILITY OWNER.
 - REMOVE EXISTING SIGN IN ITS ENTIRETY.
 - REMOVE SIDEWALK, CONCRETE CURB AND GUTTER AND BITUMINOUS PAVEMENT TO APPROXIMATE EXTENTS SHOWN FOR UTILITY INSTALLATION. COORDINATE ALL WORK IN PUBLIC RIGHT OF WAY WITH THE CITY OF CRYSTAL PRIOR TO THE START OF CONSTRUCTION. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.

DEMOLITION AND REMOVAL NOTES:

- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF CRYSTAL. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher State ONE CALL AT 651-454-0022 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
- ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAW CUT LINES TO THE NEAREST JOINT.
- THE BACKGROUND INFORMATION WAS PREPARED BY RLK INCORPORATED.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF CRYSTAL. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED THE CITY OF CRYSTAL AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF CRYSTAL FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.



2 DEMOLITION AND EROSION CONTROL PLAN
1" = 30'

Aarchitects llc
100 Portland Ave. South
Suite 100
Minneapolis, MN 55401

612 371-6440 T
612 332-0710 F

www.aarchitectsllc.com

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BKBM
ENGINEERS
5930 Brooklyn Boulevard
Minneapolis, MN 55429-2518
Phone: (763) 843-0420
Fax: (763) 843-0421
www.bkbm.com

OWNER
MIDWEST MANAGEMENT, INC.
710 PENNSYLVANIA AVE. S.
SUITE B
MINNEAPOLIS, MN 55426-1603

PROJECT
CRYSTAL GALLERY
PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
DEMOLITION AND EROSION CONTROL PLAN

PROJECT NO.
13418.00

SCALE
AS SHOWN

DATE
09/20/13

REVISION DATE

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

C1.0

1 DEMOLITION AND EROSION CONTROL PLAN
1" = 30'

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING WITH THE CITY. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
2. ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY, BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
3. NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
4. FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY WITHIN 24 HOURS OF REQUEST.
5. FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
6. SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
7. SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY, THROUGHOUT THE DURATION OF CONSTRUCTION.
8. DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY.
9. ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
10. ALL CONSTRUCTION AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS.
 - A. ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - B. IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MN/DOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 10 POUNDS PER ACRE.
 - C. IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MN/DOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
 - D. GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
 - E. UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MN/DOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
 - F. WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE SEDIMENT BASINS SHALL BE PROVIDED.
11. RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED THROUGHOUT ALL CATCH BASINS UNTIL THE AREA TO THE CATCH BASIN IS RESTORED.
12. GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
13. CONSTRUCTION FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL DITCHES AND RAIN GARDENS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE AREAS TRIBUTARY TO THE DITCHES AND RAIN GARDENS ARE RESTORED.
14. TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MN/DOT 3885 CATEGORY 2 STRAW EROSION CONTROL BLANKETS OR STAKED SOD.
15. ACCUMULATION OF ALL SEDIMENT OCCURRING IN STORM SEWERS, DITCHES, CURBS, AND RAIN GARDENS SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
16. EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY.

GRADING NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
2. THE BACKGROUND INFORMATION WAS PREPARED BY RLK INCORPORATED.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
5. NOTIFY CITY AND NEIGHBORING RESIDENTS BEFORE EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
6. ALL SPOT ELEVATIONS SHOWN AS 71.88, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 871.88.
7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
9. HANDICAP PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
10. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
11. UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE DEVELOPER SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
12. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
13. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
14. THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER CONSTRUCTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
15. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
16. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
17. WINTER MULCHING:
 - 17.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - 17.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
18. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

WALKWAY NOTES:

1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---X---X---
SILTATION FENCE	---X---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	---
DRAIN TILE	---
STORM SEWER	---
CATCH BASIN	---
MANHOLE	---
ROCK CONSTRUCTION ENTRANCE	---
ROCK CONSTRUCTION ENTRANCE	---
DRAINAGE FLOW ARROW	---
SPOT ELEVATION	---
SOIL BORING	---
CONCRETE WASHOUT AREA	---

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
1. INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C5.0.
 2. INSTALL SILT FENCE. REFER TO DETAIL 3/C5.0.
 3. INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 1/C5.0.
 4. APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 5. INFILTRATION BASIN AND WATER QUALITY TREATMENT PONDS ARE TO BE CONSTRUCTED AT THE BEGINNING OF GRADING OPERATIONS. REFER TO DETAIL 4/C5.0 FOR INFILTRATION BASIN DETAILS. CONSTRUCTION TRAFFIC IN INFILTRATION AREAS IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. IF AREA BECOMES COMPACTED, LOOSEN SOIL WITH MECHANICAL TILLER PRIOR TO FINAL STABILIZATION. INFILTRATION AREAS ARE NOT APPROVED BORROW SITES AND ARE NOT TO BE USED FOR TEMPORARY SEDIMENT BASINS. CONTRACTOR SHALL ENSURE THAT BASINS INFILTRATE AT A MINIMUM RATE OF 0.6-INCHES PER HOUR USING A PERCOLATION TEST ON BOTH BASINS BEFORE FINAL ACCEPTANCE. PERCOLATION TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.

APPROXIMATE DISTURBED AREA IS 4.79 ACRES

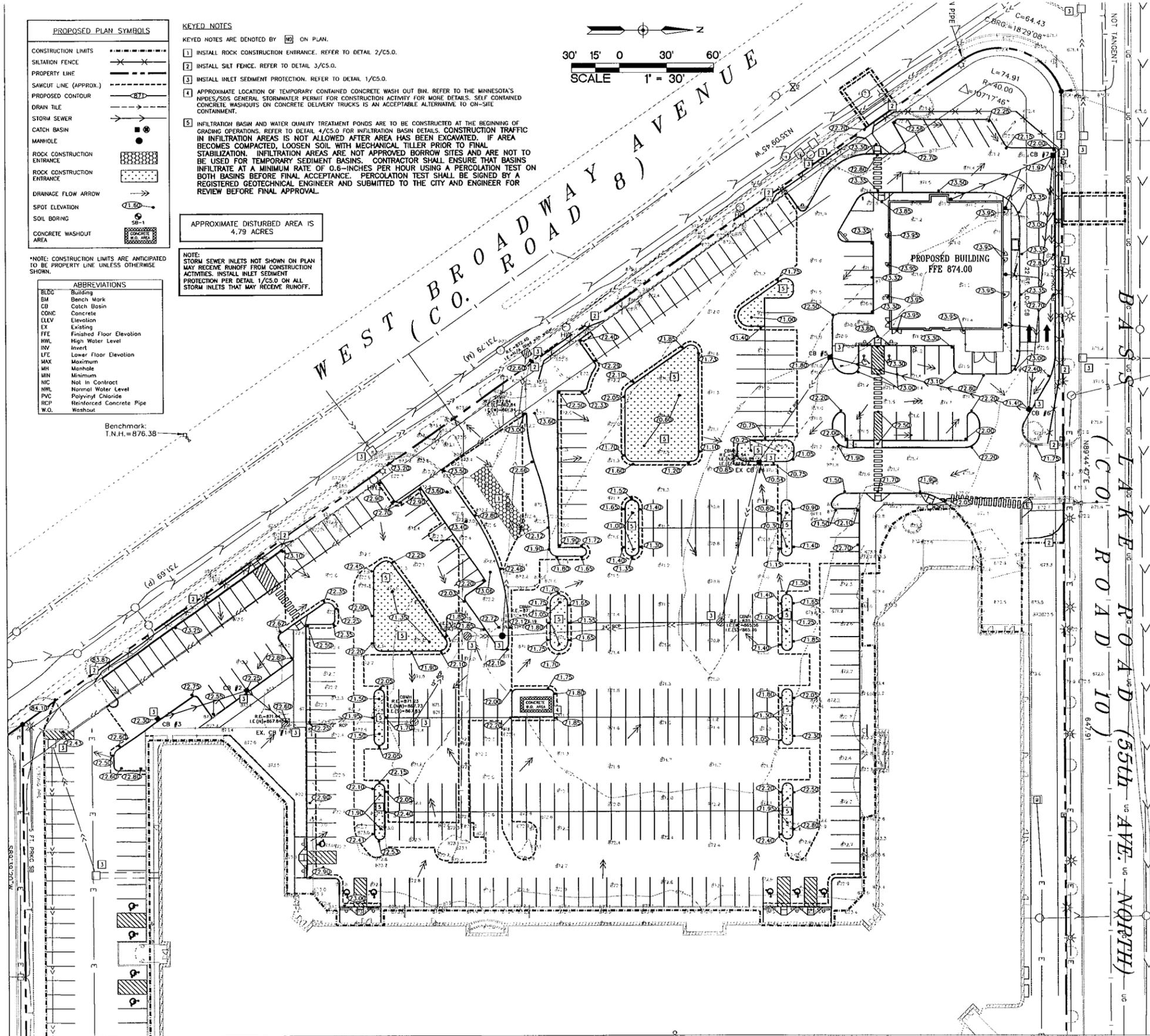
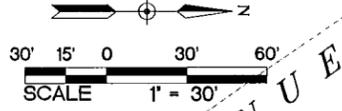
NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 1/C5.0 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

ABBREVIATIONS

BLDG	Building
BM	Bench Mark
CB	Catch Basin
CONC	Concrete
ELV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HWL	High Water Level
INV	Invert
LFE	Lower Floor Elevation
MAX	Maximum
MH	Manhole
MIN	Minimum
NIC	Not In Contract
NWL	Normal Water Level
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Washout

Benchmark: T.N.H. = 876.38



1 GRADING, DRAINAGE AND EROSION CONTROL PLAN
C2.0 1" = 30'

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PROJECT
CRYSTAL GALLERY
PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PROJECT NO.
13418.00

SCALE
AS SHOWN

DATE
09/20/13

REVISION DATE

PRELIMINARY NOT FOR CONSTRUCTION
SHEET NO.

C2.0

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	- - - -
SANITARY SEWER	—>
WATER PIPE	—+—
DRAIN TILE	—x—
STORM SEWER	—>—
FIRE HYDRANT	●
GATE VALVE	⊗
CATCH BASIN	⊙
MANHOLE	⊙
ROOF DRAIN DOWNSPOUT	•
PIPE INSULATION	▨
SEWER SPOT ELEVATION	INV. 868.50

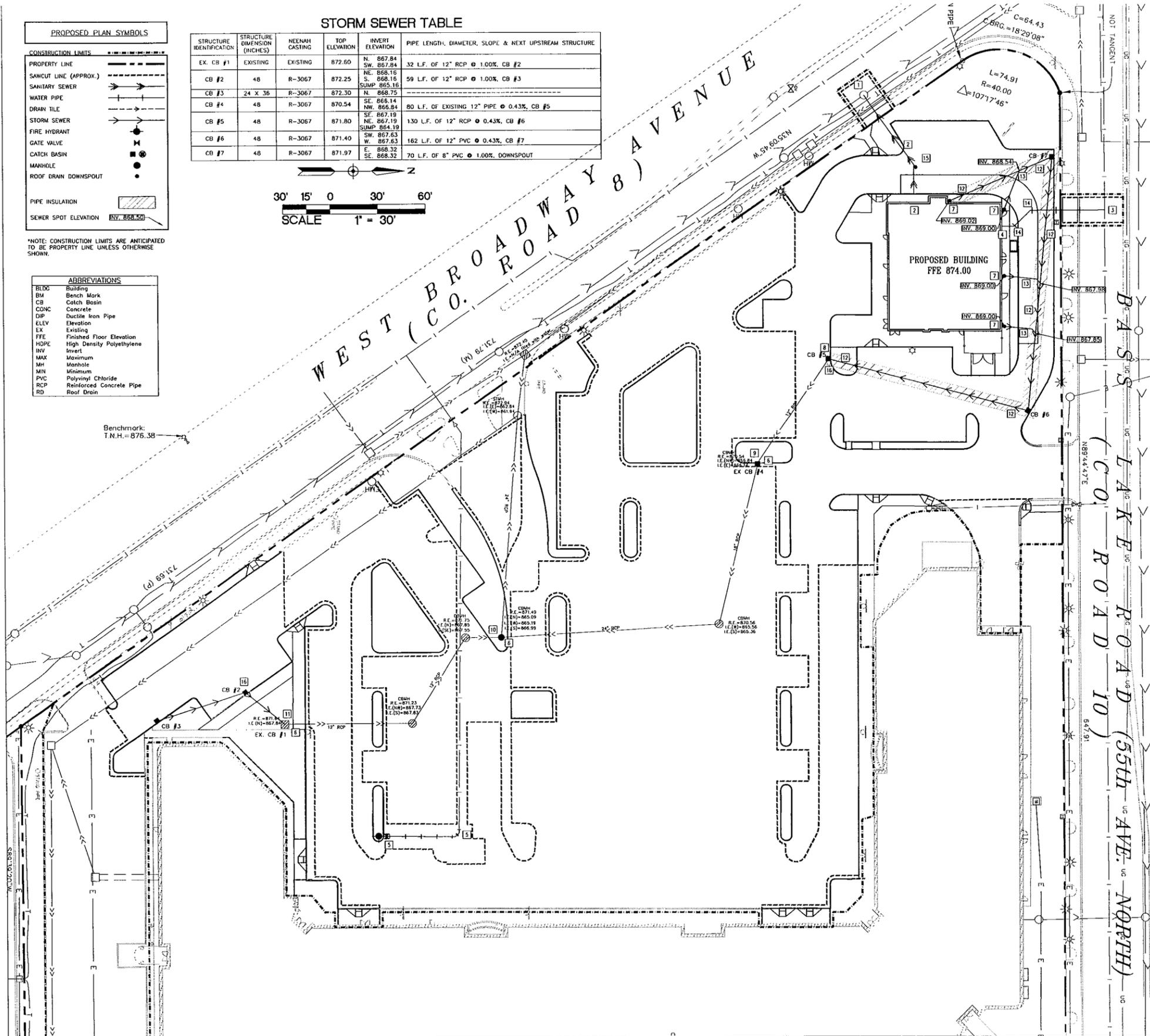
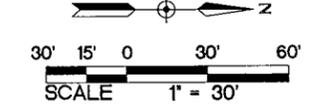
*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

ABBREVIATIONS

BLDG	Building
BM	Bench Mark
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RD	Roof Drain

STORM SEWER TABLE

STRUCTURE IDENTIFICATION	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING	TOP ELEVATION	INVERT ELEVATION	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
EX. CB #1	EXISTING	EXISTING	872.60	N. 867.84 SW. 867.84	32 L.F. OF 12" RCP @ 1.00%, CB #2
CB #2	48	R-3067	872.25	NE. 868.16 S. 868.16 SUMP 865.15	59 L.F. OF 12" RCP @ 1.00%, CB #3
CB #3	24 X 36	R-3067	872.30	N. 868.75	
CB #4	48	R-3067	870.54	SE. 866.14 NW. 866.84	80 L.F. OF EXISTING 12" PIPE @ 0.43%, CB #5
CB #5	48	R-3067	871.80	SE. 867.19 NE. 867.19 SUMP 864.19	130 L.F. OF 12" RCP @ 0.43%, CB #6
CB #6	48	R-3067	871.40	SW. 867.63 W. 867.63	162 L.F. OF 12" PVC @ 0.43%, CB #7
CB #7	48	R-3067	871.97	E. 868.32 SE. 868.32	70 L.F. OF 8" PVC @ 1.00%, DOWNSPOUT



1 UTILITY PLAN
C3.0 1" = 30'

KEYED NOTES

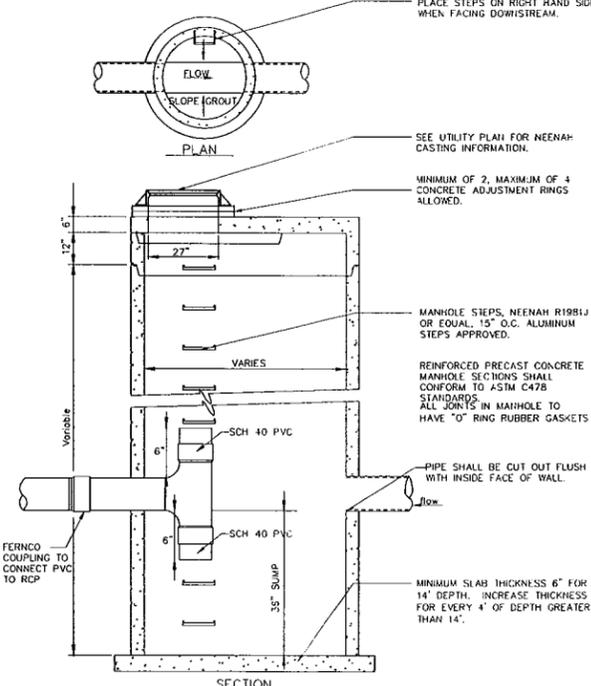
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- CORE DRILL EXISTING SANITARY SEWER MANHOLE 0.1- FEET ABOVE THE INVERT OF THE EXISTING MANHOLE FOR NEW 6-INCH PIPE CONNECTION. THE CONTRACTOR TO VERIFY INVERT PRIOR TO CONSTRUCTION. PROVIDE RUBBER BOOT SEAL FOR NEW PIPE CONNECTION.
 - INSTALL 73'-FEET OF 6-INCH SDR 35 PVC PIPE AND 45 DEGREE PIPE BEND AT A MINIMUM SLOPE OF 1.0% STUB TO WITHIN 5'-FEET OF PROPOSED BUILDING AT INVERT ELEVATION 868.00. COORDINATE EXACT LOCATION AND INVERT ELEVATION OF SEWER AT BUILDING WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. FIELD VERIFY DEPTH OF EXISTING MANHOLE ON SEWER MAIN PRIOR TO CONSTRUCTION.
 - INSTALL 6-INCH WET TAP. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.
 - STUB 6-INCH COMBINED WATER SERVICE LINE TO WITHIN 5'-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - INSTALL TWO 6-INCH 45-DEGREE BENDS AND EXTEND HYDRANT LEAD TO LOCATION INDICATED ON PLANS. INSTALL HYDRANT AND GATE VALVE PER DETAIL 10/C5.0. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS. THE EXACT SIZE OF THE EXISTING HYDRANT SERVICE IS UNKNOWN. CONTRACTOR SHALL DETERMINE EXISTING HYDRANT SERVICE SIZE AND CONTACT CIVIL ENGINEER IMMEDIATELY WITH FINDINGS.
 - ADJUST EXISTING MANHOLE/CATCH BASIN CASTING TO MATCH PROPOSED GRADE. REFER TO SHEET C2.0 FOR PROPOSED ELEVATIONS. A MAXIMUM OF 4 ADJUSTMENT RINGS ARE ALLOWED FOR ALL MANHOLE ADJUSTMENTS.
 - PROVIDE DOWNSPOUT INLET AND SPLASH PAD PER DETAIL 12/C5.1. REFER TO DETAIL 12/C5.1 FOR LOCATION OF INVERT ELEVATIONS INDICATED ON UTILITY PLAN 1/C3.0.
 - CONSTRUCT PROPOSED CATCH BASIN OVER EXISTING STORM SEWER PIPE AT INVERT ELEVATION 867.19.
 - REPLACE EXISTING CATCH BASIN CASTING WITH NEENAH R-3067.
 - REPLACE EXISTING CATCH BASIN CASTING WITH NEENAH R-1733.
 - CORE DRILL EXISTING STORM SEWER MANHOLE AT INVERT ELEVATION 867.84 FOR PROPOSED 12" RCP PIPE CONNECTION. GROUT SEAL AROUND OPENING. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.
 - PROVIDE INSULATION OVER STORM SEWER PIPE PER DETAIL 13/C5.1.
 - INSTALL 4-INCH SCH. 40 PVC PIPE AT MINIMUM 1.0% SLOPE AND CONNECT TO SITE STORM SEWER MAIN WITH 12" BY 4" SEWER WYE.
 - INSTALL 6-INCH 45 DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.
 - INSTALL CLEAN OUT PER DETAIL 5/C5.0.
 - INSTALL SUMP CATCH BASIN PER DETAIL 2/C3.0.

UTILITY NOTES:

- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
- ALL SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE ARE TO BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
- ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF CRYSTAL AND HENNEPIN COUNTY STANDARDS.
- ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
- ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 8.0 FEET OVER TOP OF WATER MAIN.
- PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF CRYSTAL. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
- SANITARY SEWER PIPING SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
- STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE. ALL 12-INCH THROUGH 18-INCH RCP STORM SEWER PIPE SHALL BE CLASS 5. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES IS TO BE SCHEDULE 40 PVC.
- CONTRACTORS ARE TO COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10'-FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:

- FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT OF WAY AND OBTAIN ALL APPLICABLE PERMITS.



2 SUMP MANHOLE/CATCH BASIN
C3.0 NOT TO SCALE

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PROJECT
CRYSTAL GALLERY

PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
UTILITY PLAN

PROJECT NO.
13418.00

SCALE
AS SHOWN

DATE
09/20/13

REVISION DATE
-

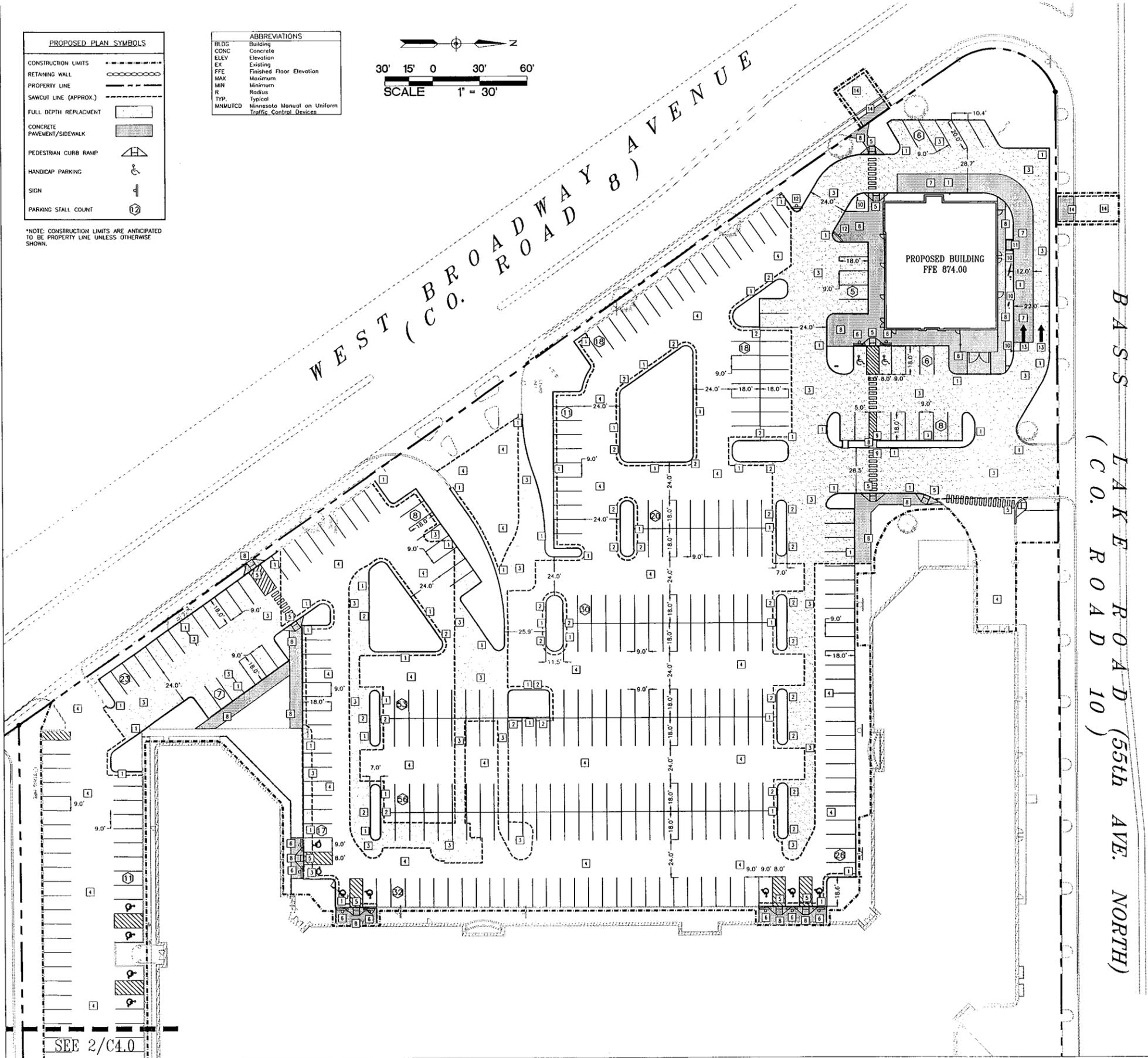
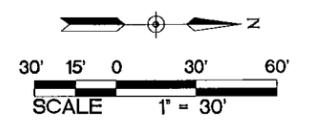
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

C3.0

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
RETAINING WALL	-----
PROPERTY LINE	-----
SAWCUT LINE (APPROX.)	-----
FULL DEPTH REPLACEMENT	[Hatched Box]
CONCRETE PAVEMENT/SIDEWALK	[Stippled Box]
PEDESTRIAN CURB RAMP	[Ramp Symbol]
HANDICAP PARKING	[Handicap Symbol]
SIGN	[Sign Symbol]
PARKING STALL COUNT	[Stall Count Symbol]

ABBREVIATIONS	
BLDG	Building
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP.	Typical
MN MUTCD	Minnesota Manual on Uniform Traffic Control Devices



KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 3/C5.1.
 - INSTALL 3-FOOT CURB CUT WITH 3-FOOT NOSE DOWN CURB SECTIONS TO EITHER SIDE. REFER TO DETAIL 2/C5.1 FOR NOSE DOWN CURB.
 - INSTALL FULL DEPTH BITUMINOUS PAVEMENT. REFER TO DETAIL 9/C5.1.
 - PROVIDE 1.5-INCH MN/DOT 2360 MWE4 OVERLAY.
 - INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAIL 4/C5.1. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
 - INSTALL HANDICAPPED PARKING SIGN. REFER TO DETAIL 5/C5.1.
 - INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 6/C5.1.
 - INSTALL CONCRETE WALK. REFER TO DETAIL 8/C5.1. REFER TO LANDSCAPE PLANS FOR CONCRETE FINISH AND JOINTING.
 - NOSE DOWN PROPOSED CURB ON EITHER SIDE OF CONCRETE WALK. INTENT IS FOR CONCRETE WALK TO MATCH PROPOSED ADJOINING ASPHALT PAVEMENT GRADES. CONTRACTOR SHALL PROVIDE TRUNCATED DOME PLATES PER DETAIL 4/C5.1.
 - REFER TO ARCHITECTURAL PLANS FOR MISCELLANEOUS SITE FEATURES.
 - INSTALL CONCRETE TRANSFORMER PAD PER DETAIL 10/C5.1.
 - INSTALL "ONE WAY DO NOT ENTER" SIGN PER DETAIL 11/C5.1.
 - INSTALL YELLOW DIRECTIONAL ARROW. FOLLOW ALL MN MUTCD STANDARDS AND SPECIFICATIONS.
 - REPLACE PAVEMENT, SIDEWALK, AND CURB AND GUTTER THAT WAS REMOVED FOR UTILITY INSTALLATION. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS.

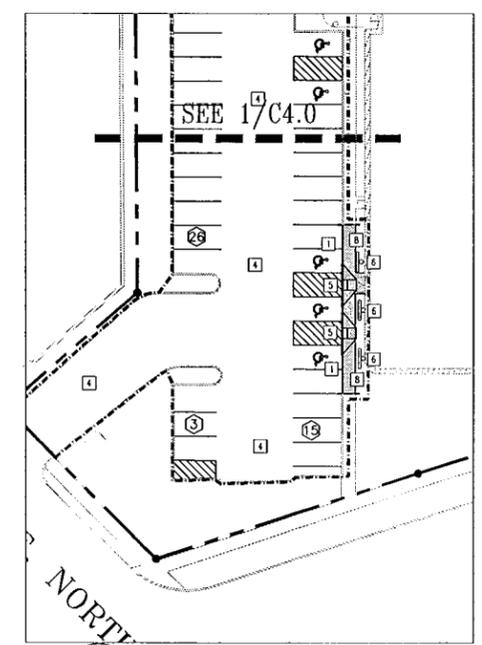
GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
- FOLLOW ALL CITY OF CRYSTAL AND HENNEPIN COUNTY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
- NO PONDING OF WATER OR ABRUPT TRANSITIONS WILL BE ALLOWED WHERE NEW PAVEMENT/CURB/SIDEWALK MATCHES INTO EXISTING PAVEMENT/CURB/SIDEWALK.
- ALL PARKING STALLS, EXCEPT HANDICAP STALLS, ARE TO BE 9 FEET WIDE BY 18 FEET LONG.
- THE CONTRACTOR IS TO CONTACT THE CITY OF CRYSTAL FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.

PAVING NOTES:

- REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
- INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
- SAWCUT AND MATCH NEW BITUMINOUS PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. FOLLOW ALL CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS FOR CURB TYPE, MATERIAL AND INSTALLATION METHODS.
- SAWCUT EXISTING BITUMINOUS PAVEMENT AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER. INSTALL DRIVE ENTRANCE PER CITY OF CRYSTAL STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF CRYSTAL AND HENNEPIN COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.

STALL COUNT	
EXISTING	= 392 STALLS
PROPOSED	= 399 STALLS
REQUIRED PER CITY OF CRYSTAL ZONING CODE 515.17.SUB.5.P	
1 STALL PER 300 SQUARE FEET MIN	
1 STALL PER 250 SQUARE FEET MAX	
111,314 SQUARE FEET	= 372 STALLS MIN 445 STALLS MAX



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PROJECT
CRYSTAL GALLERY
PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
GEOMETRIC AND PAVING PLAN

PROJECT NO.
13418.00

SCALE
AS SHOWN

DATE
09/20/13

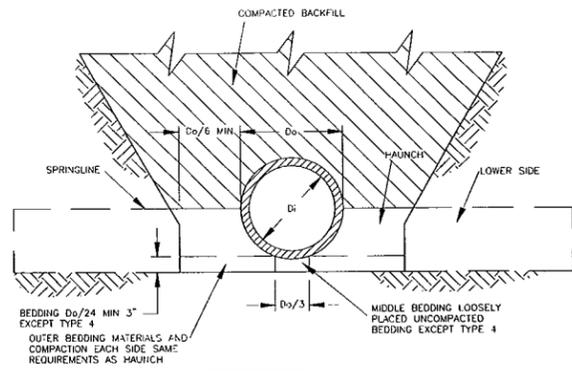
REVISION DATE
-

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.
C4.0

1 GEOMETRIC AND PAVING PLAN
1" = 30'

2 GEOMETRIC AND PAVING PLAN
1" = 30'

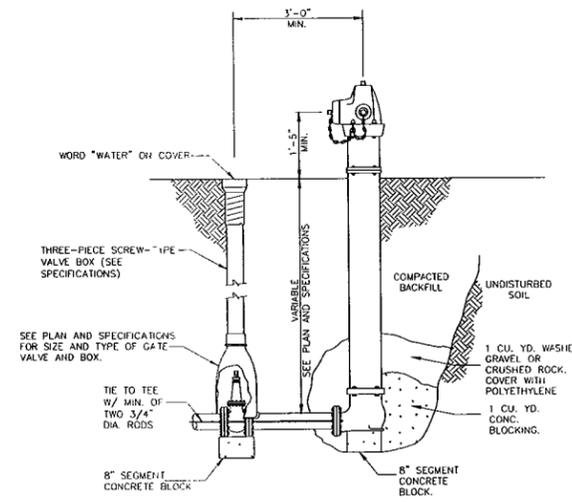


STANDARD TRENCH INSTALLATION SOIL AND MINIMUM STANDARD PROCTOR COMPACTION REQUIREMENTS		
INSTALLATION TYPE	HAUNCH AND OUTER BEDDING	LOWER SIDE
TYPE 1	95% CATEGORY I	90% CATEGORY I 95% CATEGORY II 100% CATEGORY III
TYPE 2	90% CATEGORY I 95% CATEGORY I	85% CATEGORY I 90% CATEGORY II 95% CATEGORY III
TYPE 3	85% CATEGORY I 90% CATEGORY II 95% CATEGORY III	80% CATEGORY I 85% CATEGORY II 90% CATEGORY III
TYPE 4	NO COMPACTION REQUIRED, EXCEPT IF CATEGORY III USE 85% CATEGORY III	NO COMPACTION REQUIRED, EXCEPT IF CATEGORY III USE 85% CATEGORY III

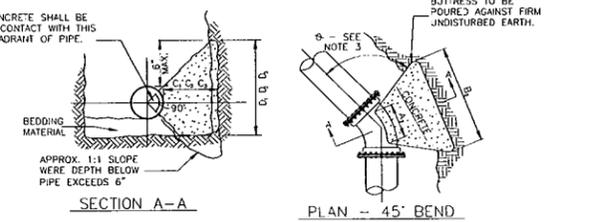
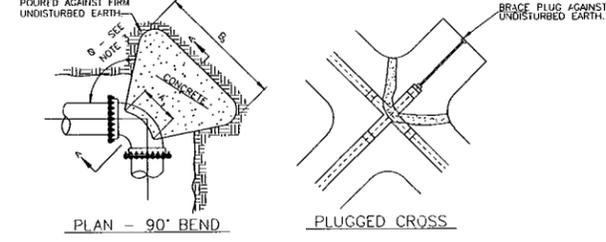
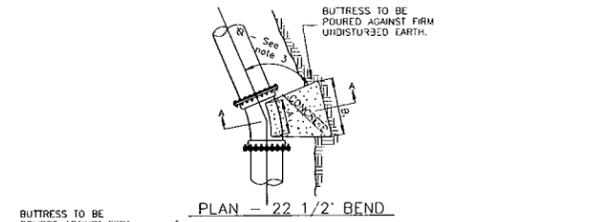
EQUIVALENT SOIL CLASSIFICATIONS FOR SOIL DESIGNATIONS		
SOIL	UNIFIED SOIL CLASSIFICATION SYSTEM (USCS)	MN/DOT SPECIFICATION
CATEGORY I	CLEAN COARSE GRAINED SOILS: SW, SP, GW, GP, OR ANY SOIL BEGINNING WITH ONE OF THESE SYMBOLS WITH 12% OR LESS PASSING A #200 SIEVE	COARSE FILTER AGGREGATE MN/DOT 3149.2H
CATEGORY II	COURSE GRAINED SOILS WITH FINES: GM, GC, SM, SC, OR ANY SOIL BEGINNING WITH ONE OF THESE SYMBOLS CONTAINING MORE THAN 12% PASSING A #200 SIEVE	AGGREGATE BEDDING MN/DOT 3149.2C
CATEGORY III	FINE GRAINED SOILS: CL, ML, (OR CL-ML, CL-ML, ML/CL) WITH LESS THAN 30% RETAINED ON A #200 SIEVE	NOT APPLICABLE

- NOTES:
1. COMPACTION AND SOIL SYMBOLS—E. "95% CATEGORY I" REFERS TO CATEGORY I MATERIAL WITH MINIMUM STANDARD PROCTOR COMPACTION OF 95%.
 2. SOIL IN BEDDING AND HAUNCH ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE MAJORITY OF SOIL IN THE BACKFILL ZONE.
 3. THE TRENCH WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN SPECIFIED COMPACTION IN THE HAUNCH AND BEDDING ZONES.
 4. FOR TRENCH WALLS WITH GREATER THAN 10 DEGREE SLOPES THAT CONSIST OF EMBANKMENT, THE LOWER SIDE SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE SOIL IN THE BACKFILL ZONE.
 5. NO BEDDING IS REQUIRED FOR TYPE 4 STANDARD INSTALLATION.
 6. REFER TO ASTM C1479-07 FOR DETAILS.
 7. TYPE III BEDDING SHALL BE USED UNLESS NOTED OTHERWISE.

9 TYPICAL PIPE BEDDING FOR RCP AND DIP
C5.0 NOT TO SCALE



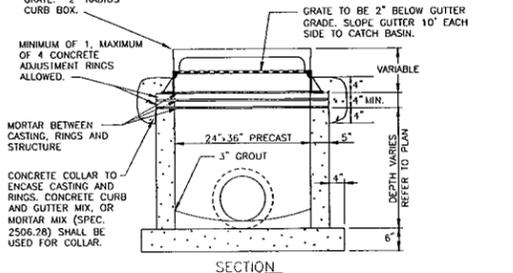
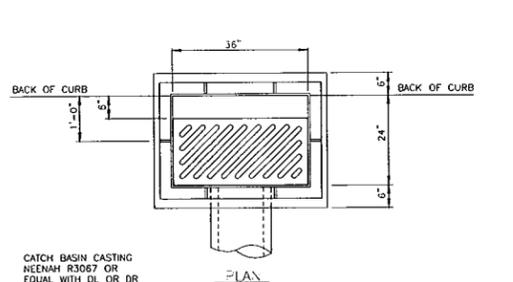
10 TYPICAL HYDRANT WITH GATE VALVE AND BOX
C5.0 NOT TO SCALE



- NOTES:
1. DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND AN EARTH RESISTANCE OF 1 TON PER SQUARE FOOT.
 2. DIMENSIONS C1, C2, C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE OF EQUAL TO OR LARGER THAN 45°.
 3. DIMENSION A1, A2, A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
 4. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.

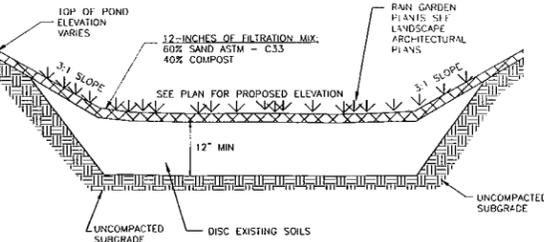
PIPE SIZE	22 1/2° Bend		45° Bend		90° Bend	
	B1	D1	B2	D2	B3	D3
6"	1'-5"	1'-5"	1'-5"	1'-5"	2'-1"	1'-6"
8"	1'-5"	1'-5"	2'-1"	1'-6"	2'-8"	2'-0"
12"	1'-10"	1'-10"	3'-4"	2'-0"	4'-9"	2'-6"
16"	3'-0"	2'-0"	3'-10"	3'-0"	6'-2"	3'-6"
20"	3'-6"	2'-8"	5'-8"	3'-1"	8'-4"	4'-0"
24"	4'-0"	3'-0"	6'-10"	3'-10"	9'-8"	5'-0"

7 THRUST BLOCK DETAIL FOR MECHANICAL PIPE BENDS
C5.0 NOT TO SCALE

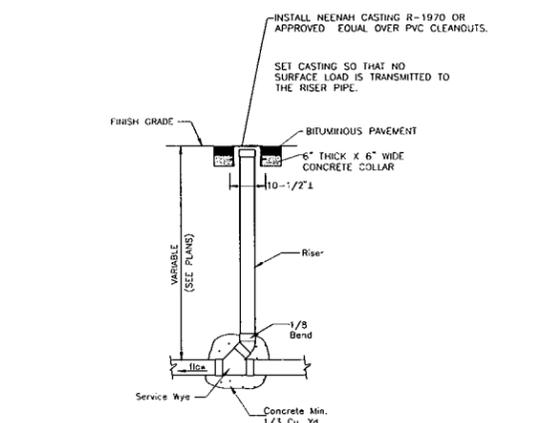


- NOTES:
1. RIGHT HAND GRATE SHOWN IN PLAN VIEW.
 2. REINFORCED PRECAST CONCRETE CATCH BASIN SECTIONS SHALL CONFORM TO ASTM C478 STANDARDS.

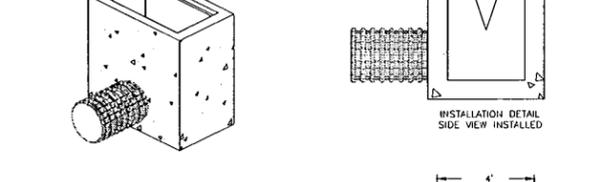
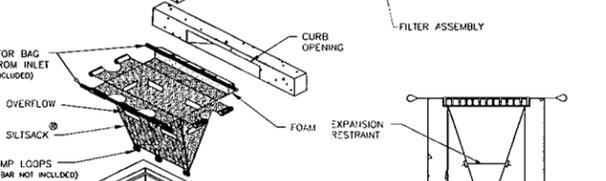
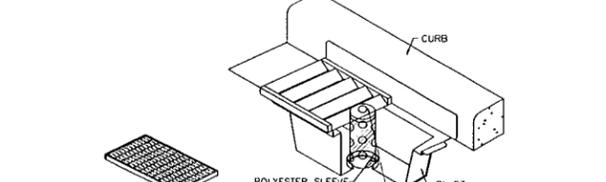
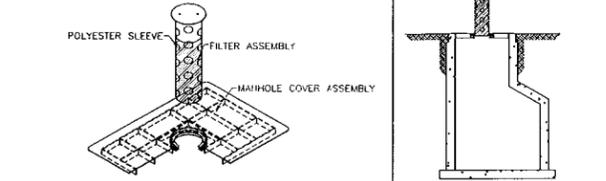
8 24" x 36" PRECAST CATCH BASIN
C5.0 NOT TO SCALE



4 RAIN GARDEN CROSS SECTION
C5.0 NOT TO SCALE



5 SEWER CLEANOUT IN PAVEMENT
C5.0 NOT TO SCALE

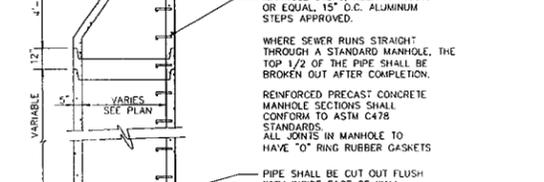
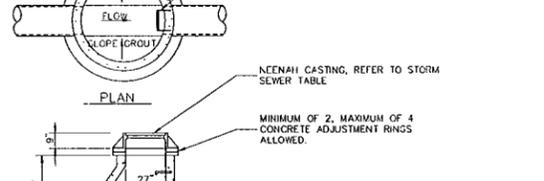
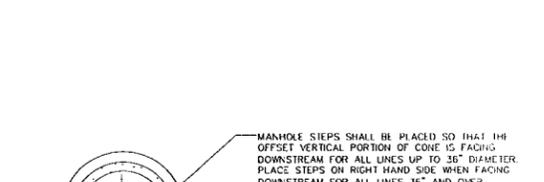


- NOTES:
1. MINIMUM LENGTH OF 50 FEET AND WIDTH OF 12 FEET.
 2. FOLLOW ALL CITY, WATERSHED DISTRICT AND MPCA STANDARDS.
 3. CLEAN STREETS ON A DAILY BASIS OR MORE FREQUENTLY IF REQUESTED BY CITY, WATERSHED DISTRICT OR MPCA.

1 INLETS SEDIMENTATION PROTECTION OPTIONS
C5.0 NOT TO SCALE

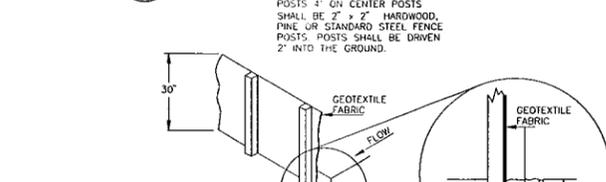
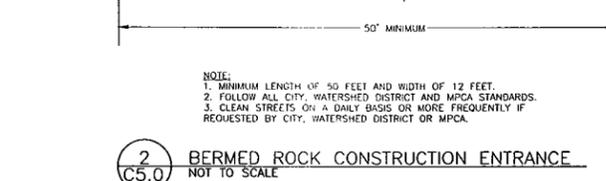
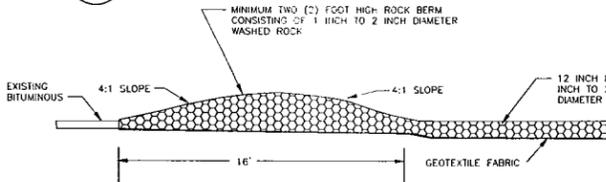
2 BERMED ROCK CONSTRUCTION ENTRANCE
C5.0 NOT TO SCALE

3 SILTATION FENCE
C5.0 NOT TO SCALE



- NOTES:
1. MANHOLE STEPS SHALL BE PLACED SO THAT THE OFFSET VERTICAL PORTION OF CONE IS FACING DOWNSTREAM FOR ALL LINES UP TO 36\"/>

6 STORM SEWER MANHOLE/CATCH BASIN
C5.0 NOT TO SCALE



- NOTES:
1. MAXIMUM DISTANCE BETWEEN POSTS IS 4'. AN EXTRA POST MAY BE ADDED ON EACH SIDE.
 2. MAINTAIN UNTIL SURFACE HAS BEEN PAVED AND/OR VEGETATION HAS BEEN ESTABLISHED.
 3. GEOTEXTILE FILTER FABRIC SHALL BE INSTALLED PER SILT FENCE DETAIL.

10 TYPICAL HYDRANT WITH GATE VALVE AND BOX
C5.0 NOT TO SCALE

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PROJECT
CRYSTAL
GALLERY

PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
CIVIL DETAILS

PROJECT NO.
13418.00

SCALE
AS SHOWN

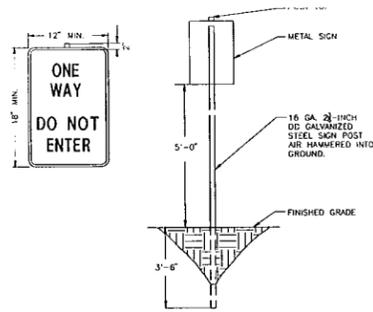
DATE
09/20/13

REVISION DATE

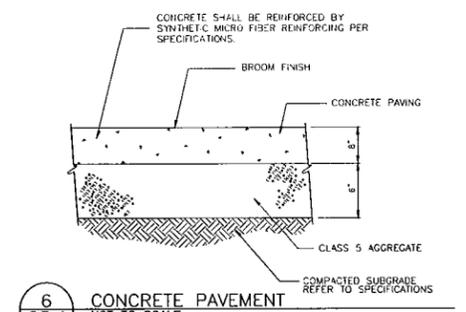
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SHEET NO.

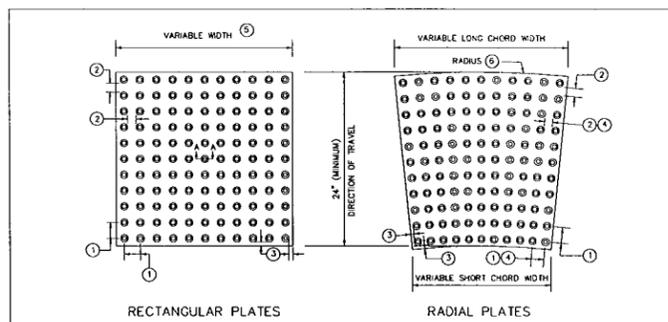
C5.0



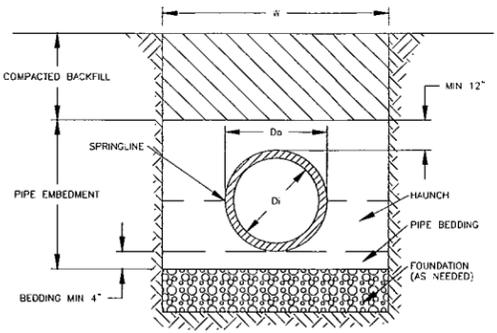
11 C5.1 SIGN AND CHANNEL POST NOT TO SCALE



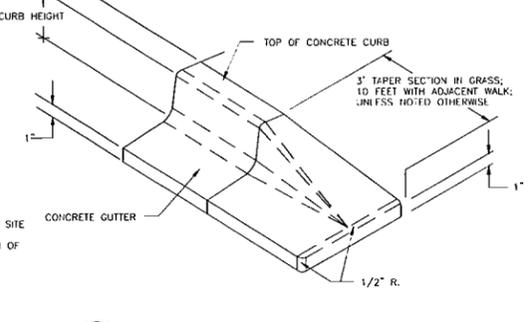
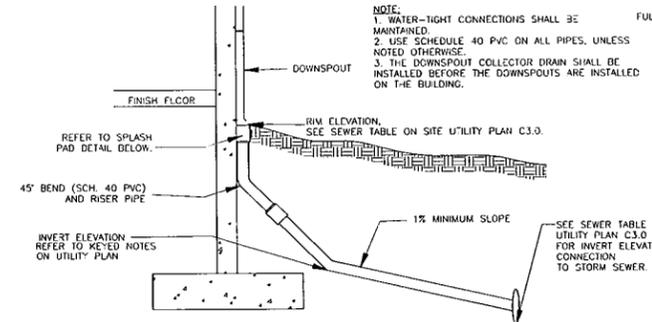
6 C5.1 CONCRETE PAVEMENT NOT TO SCALE



4 C5.1 PEDESTRIAN CURB RAMP - DETECTABLE WARNING NOT TO SCALE



1 C5.1 TYPICAL PIPE BEDDING FOR PVC NOT TO SCALE



7 C5.1 NOSE-DOWN CURB SECTION NOT TO SCALE

NOTES:

DETECTABLE WARNING SURFACES SHALL FOLLOW THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).

DETECTABLE WARNINGS CONSIST OF TRUNCATED DOMES ALIGNED IN A SQUARE OR RADIAL GRID PATTERN.

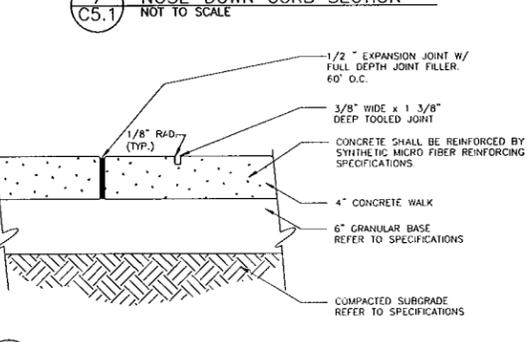
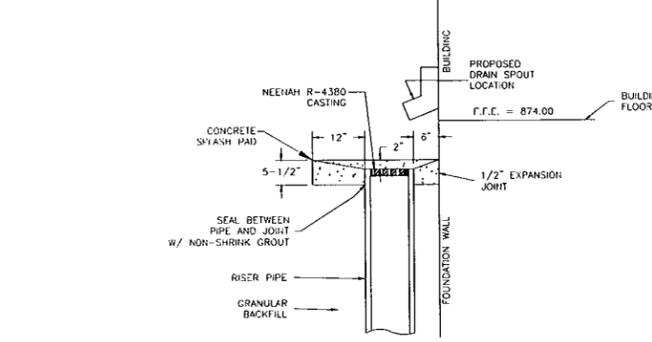
DETECTABLE WARNINGS ARE REQUIRED:

- WHERE RAMP, LANDING, OR BLENDED TRANSITIONS PROVIDE A FLUSH PEDESTRIAN CONNECTION TO THE ROADWAY.
- WHERE PEDESTRIAN ACCESS ROUTES CROSS COMMERCIAL DRIVEWAYS THAT ARE PROVIDED WITH TRAFFIC CONTROL DEVICES OR OTHERWISE PERMITTED TO OPERATE LIKE A PUBLIC ROADWAY.
- AT PEDESTRIAN RAILWAY CROSSINGS.
- ON RAIL PLATFORMS WHERE BOARDING EDGES ARE NOT PROTECTED.

DETECTABLE WARNINGS SHALL EXTEND:

- A MINIMUM OF 24\"/>

1 C5.1 TYPICAL PIPE BEDDING FOR PVC NOT TO SCALE



8 C5.1 CONCRETE SIDEWALK CONSTRUCTION (TYP.) NOT TO SCALE

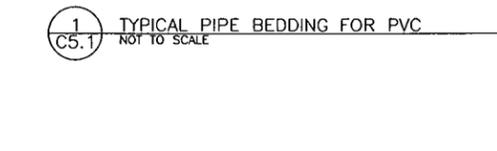
STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION

DETECTABLE WARNING SURFACE
TRUNCATED DOMES

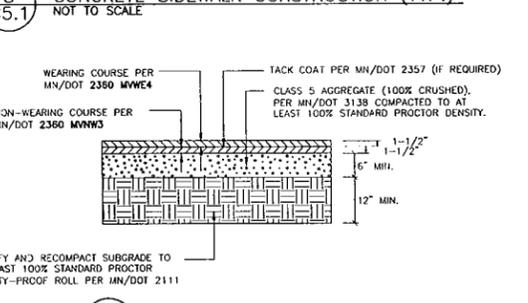
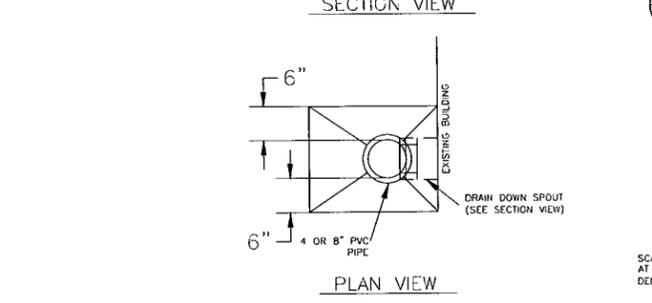
SPECIFICATION REFERENCE
2531

STANDARD PLATE NO.
7038A

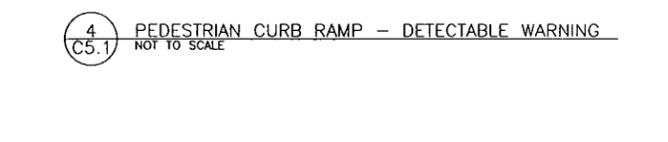
CONTRACTOR SHALL COORDINATE FINAL CURB RAMP LOCATION AND PEDESTRIAN CURB RAMP DETAIL WITH THE CITY AND OWNER PRIOR TO INSTALLATION.



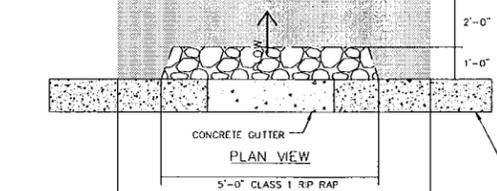
2 C5.1 CURB OPENING FOR DRAINAGE SWALE NOT TO SCALE



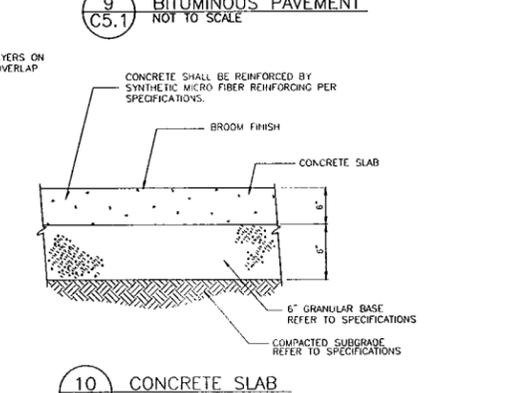
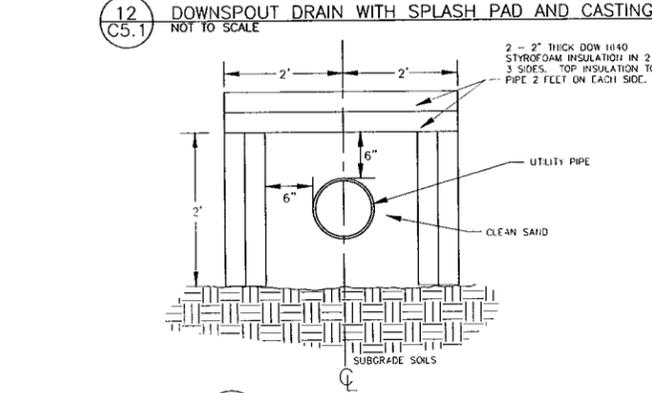
9 C5.1 BITUMINOUS PAVEMENT NOT TO SCALE



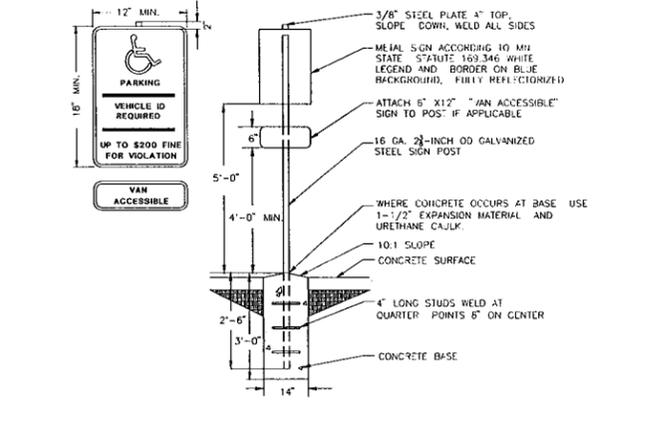
5 C5.1 HANDICAPPED SIGN AND POST - CONCRETE PLACEMENT NOT TO SCALE



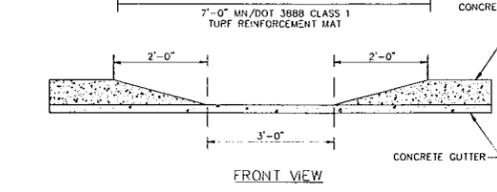
1 C5.1 TYPICAL PIPE BEDDING FOR PVC NOT TO SCALE



10 C5.1 CONCRETE SLAB NOT TO SCALE



3 C5.1 B612 CONCRETE CURB AND GUTTER NOT TO SCALE



2 C5.1 CURB OPENING FOR DRAINAGE SWALE NOT TO SCALE

13 C5.1 PIPE INSULATION NOT TO SCALE

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710 PENNSYLVANIA AVE. S.
SUITE B
MINNEAPOLIS, MN 55426-1603

PROJECT
CRYSTAL GALLERY

PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
CIVIL DETAILS

PROJECT NO.
13418.00

SCALE
AS SHOWN

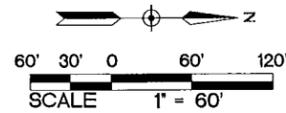
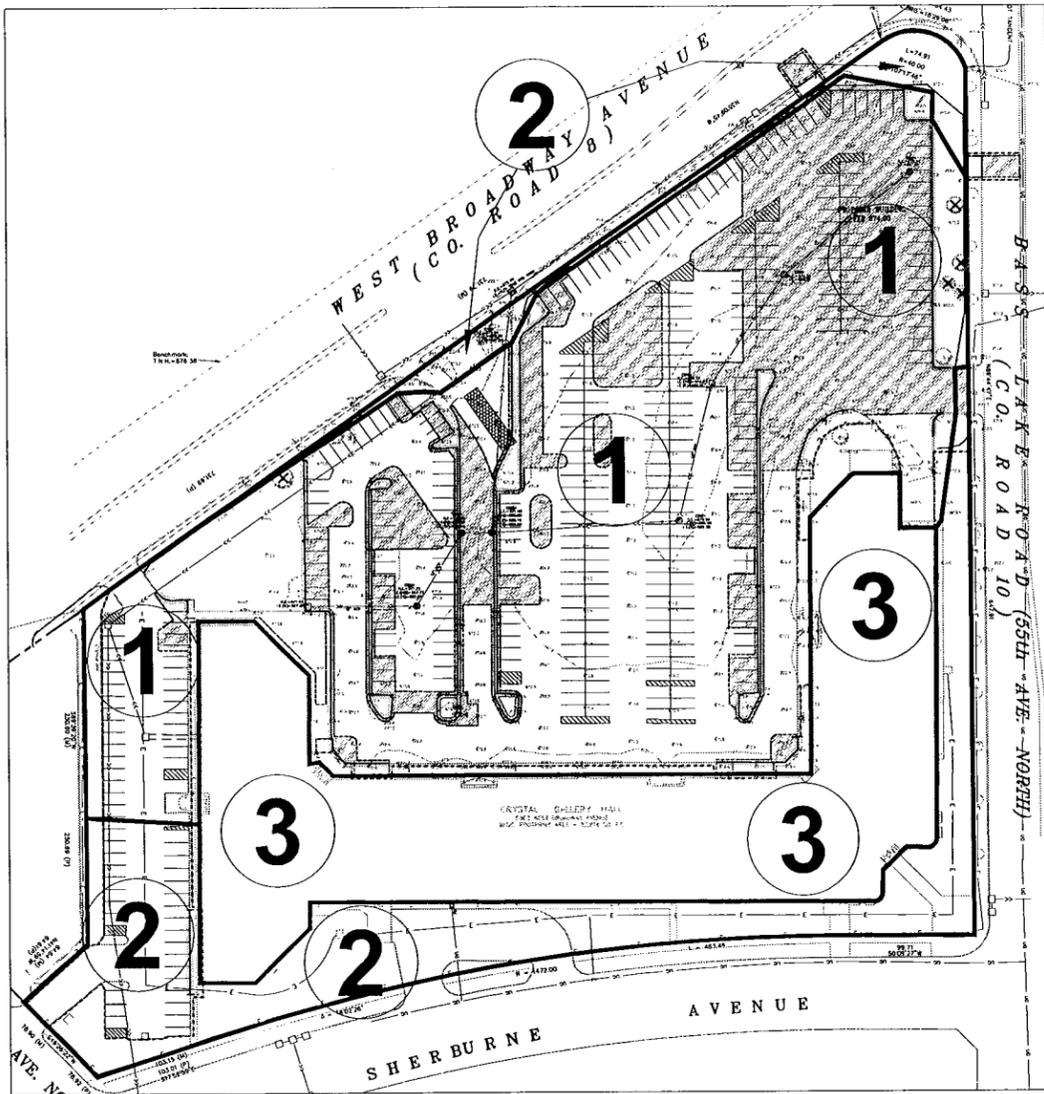
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SHEET NO.

C5.1



ABBREVIATIONS

BLDG	Building
BMP	Best Management Practice
BW	Bottom of Wall
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HWL	High Water Level
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
NWL	Normal Water Level
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TW	Top of Wall
W.O.	Washout

AGENCY CONTACTS

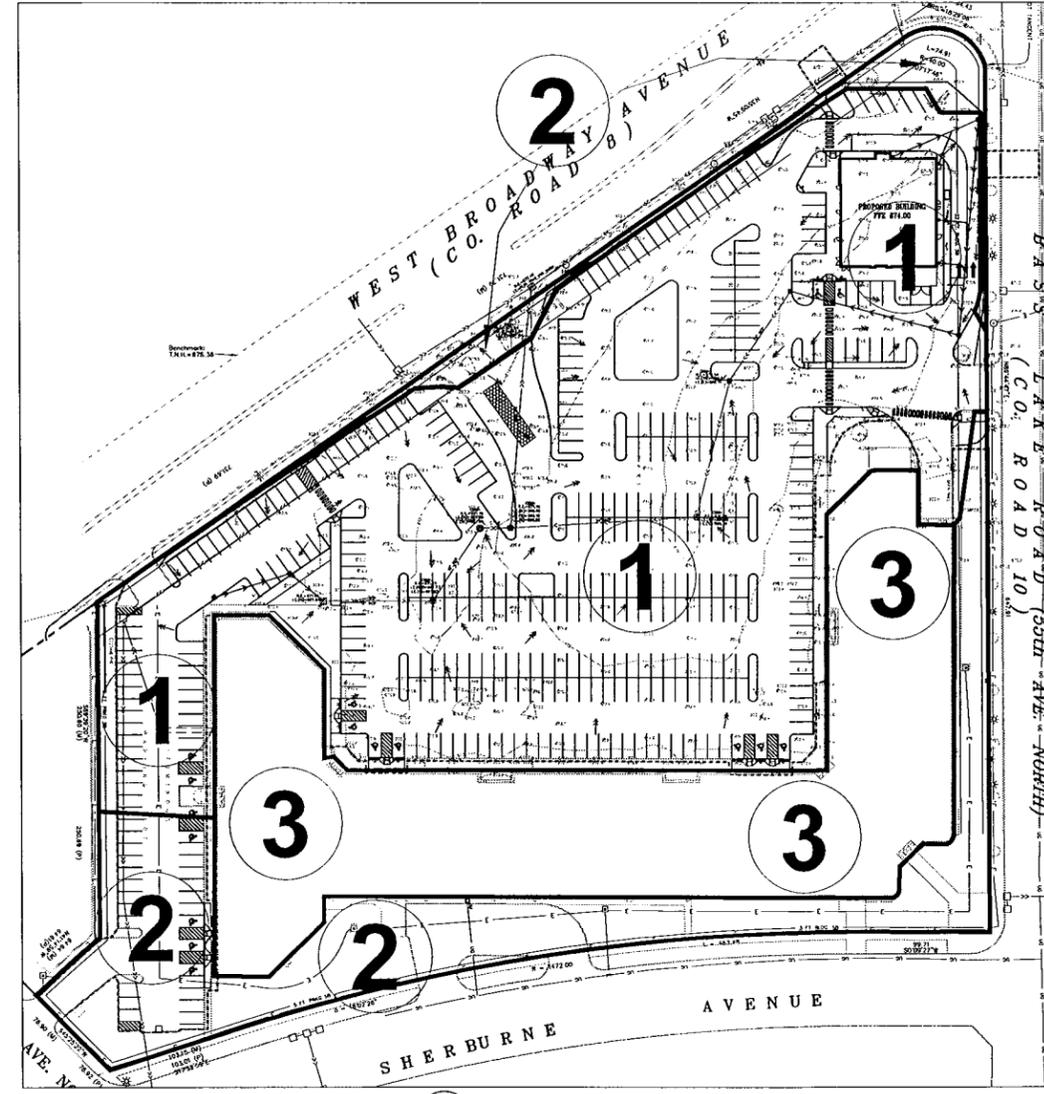
CITY OF CRYSTAL
PUBLIC WORKS DEPARTMENT
4141 DOUGLAS DRIVE NORTH
CRYSTAL, MN 55422
PHONE: (763) 531-1160

MINNESOTA POLLUTION CONTROL AGENCY
520 LAFAYETTE ROAD
SAINT PAUL, MN 55155
PHONE: (651) 296-8300

OWNER:
CRYSTAL GALLERY DEVELOPERS
5510 WEST BROADWAY AVENUE
CRYSTAL, MN 55428

NOTE:
THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNERS SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION.

NOTE:
THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL.
CONTRACTOR TO SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.



2 PROPOSED CONDITIONS
C6.0 1"=50'

1 EXISTING CONDITIONS
C6.0 1"=50'

EXISTING DRAINAGE AREAS

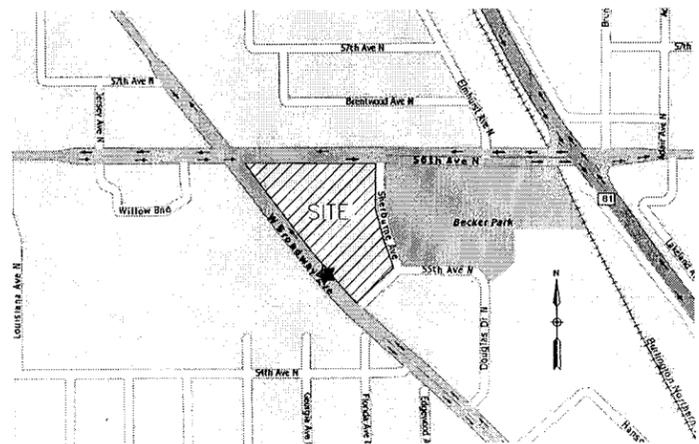
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.75")	10-YEAR (4.15")	100-YEAR (5.90")	
1	4.04	0.44	4.48	15.28	24.35	35.53	OFFSITE
2	0.60	0.76	1.36	2.08	4.52	7.84	OFFSITE
3	1.90	0.00	1.90	7.13	10.86	15.50	OFFSITE
TOTAL	6.54	1.20	7.74	24.49	39.73	58.87	
TOTAL LESS AREA 3	4.64	1.20	5.84	17.36	28.87	43.37	

STORMWATER RUNOFF SUMMARY

	2-YR STORM (2.75") RUNOFF (CFS)	10-YR STORM (4.15") RUNOFF (CFS)	100-YR STORM (5.90") RUNOFF (CFS)
EXISTING SITE	17.36	28.87	43.37
PROPOSED SITE	16.53	27.91	42.29
PERCENTAGE DECREASE EXISTING VS. PROPOSED	4.78	3.33	2.49

PROPOSED DRAINAGE AREAS

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.75")	10-YEAR (4.15")	100-YEAR (5.90")	
1	3.94	0.54	4.48	1.36	2.10	4.56	INFILTRATION BASIN
2	0.58	0.78	1.36	2.10	4.56	7.91	OFFSITE
3	1.90	0.00	1.90	7.13	10.86	15.50	OFFSITE
INFILTRATION BASINS	NA	NA	NA	14.43	23.35	34.36	OFFSITE
TOTAL	6.42	1.32	7.74	23.66	38.77	57.79	
TOTAL LESS AREA 3	4.52	1.32	5.84	16.53	27.91	42.29	



VICINITY MAP

OTHER NOTES:

- LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:
 - INSPECT INFILTRATION BASINS ON A BIENNIAL BASIS, ONCE IN THE SPRING AND ONCE IN THE FALL.
 - CLEAN INFILTRATION BASINS OF DEBRIS AT A MINIMUM ANNUALLY.
- THIS SWPPP DOCUMENT HAS BEEN PREPARED BY BKBM ENGINEERS. A COPY OF THEIR EROSION AND SEDIMENT CONTROL PROGRAM CERTIFICATION IS AVAILABLE UPON REQUEST.
- THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AT THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

PROJECT NARRATIVE

THE EXISTING SITE IS AN APPROXIMATE 7.74 ACRE AREA THAT INCLUDES THE CRYSTAL GALLERY MALL AND SURROUNDING PARKING. CURRENTLY STORM WATER RUNOFF FROM THE SITE SHEET FLOW TO ON-SITE STORM SEWER THAT DRAINS TOWARDS WEST BROADWAY AVENUE. A PORTION OF THE SITE (AREA 2) SHEET FLOWS DIRECTLY OFFSITE INTO PUBLIC RIGHT OF WAY.

THE EXISTING CRYSTAL GALLERY MALL IS TO REMAIN WITH MINOR MODIFICATIONS TO THE EXTERIOR OF THE BUILDING. IN THE NORTH WEST PORTION OF THE SITE A NEW APPROXIMATE 6,000 SQUARE FOOT RETAIL BUILDING IS BEING PROPOSED. THE PARKING LOT LAYOUT, CURB AND PARKING STALLS, WILL BE MODIFIED TO HELP TREAT AND INFILTRATE STORM WATER RUNOFF FROM THE PARKING LOT THE CENTER CURB ISLANDS WILL INCLUDE RAIN GARDENS. OVERFLOW FROM THESE RAIN GARDENS WILL BE ALLOWED TO ENTER EXISTING AND PROPOSED STORM SEWER WHICH CONNECTS TO PUBLIC STORM SEWER LOCATED IN BROADWAY AVENUE. A HILL AND OVERLAY OF THE WHOLE PARKING LOT WILL BE PROVIDED FOR AREAS NOT REQUIRING FULL DEPTH PAVEMENT INSTALLATION.

INSPECTIONS

EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.

STABILIZED AREAS: ONCE EVERY 30 DAYS.

FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

SEDIMENT AND EROSION CONTROL MAINTENANCE

PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.

CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ON PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.

CONSTRUCTION SITE DEWATERING: SITE WATER DISCHARGE DUE TO CONSTRUCTION DEWATERING OPERATIONS SHALL BE MONITORED FOR SEDIMENTATION AND TREATED PRIOR TO DISCHARGE TO PUBLIC STORM SEWER. TREATMENT OF DEWATERING DISCHARGE MAY BE ACCOMPLISHED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE BMP'S.

FINAL STABILIZATION

STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY) DRAINAGE DITCHES STABILIZED.

ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.

CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES

PROVIDE TEMPORARY PROTECTION OR PERMANENT COVER FOR EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 FEET OF A SURFACE WATER CURB AND GUTTER, CATCH BASIN, OR ANY STORM WATER CONVEYANCE SYSTEM CONNECTED TO ANY OF THE ABOVE WITHIN THE FOLLOWING TIME FRAME:

THE TIME AN AREA CAN REMAIN OPEN WHEN NOT ACTIVELY BEING WORKED ON:
SLOPES STEEPER THAN 3:1 - 7 DAYS
SLOPES 10:1 TO 3:1 - 14 DAYS
SLOPES FLATTER THAN 10:1 - 14 DAYS

DITCHES THAT CONNECT TO A SURFACE WATER MUST BE STABILIZED WITHIN 200- FEET FROM THE EDGE OF PROPERTY OR WITHIN 200- FEET TO ANY SURFACE WATER WITHIN 24-HOURS.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.

SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN.

POLLUTION PREVENTION MANAGEMENT MEASURES

SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.

HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED.

NO ENGINE DEGREASING ALLOWED ON-SITE.

CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A CONTRACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

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PROJECT
CRYSTAL GALLERY
PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
STORM WATER POLLUTION
PREVENTION PLAN

PROJECT NO.
13418.00

SCALE
AS SHOWN

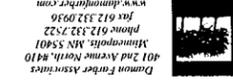
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PROJECT

P.U.D.
5510 WEST BROADWAY
CRYSTAL, MN 55428

SHEET TITLE
LANDSCAPE
PLAN

PROJECT NO.
108.07.06

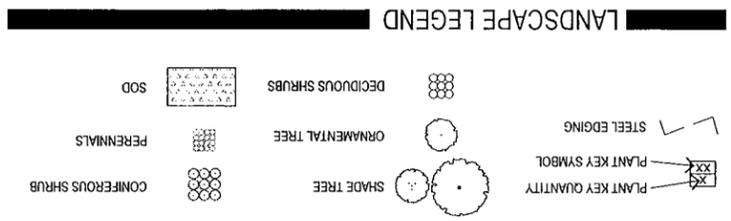
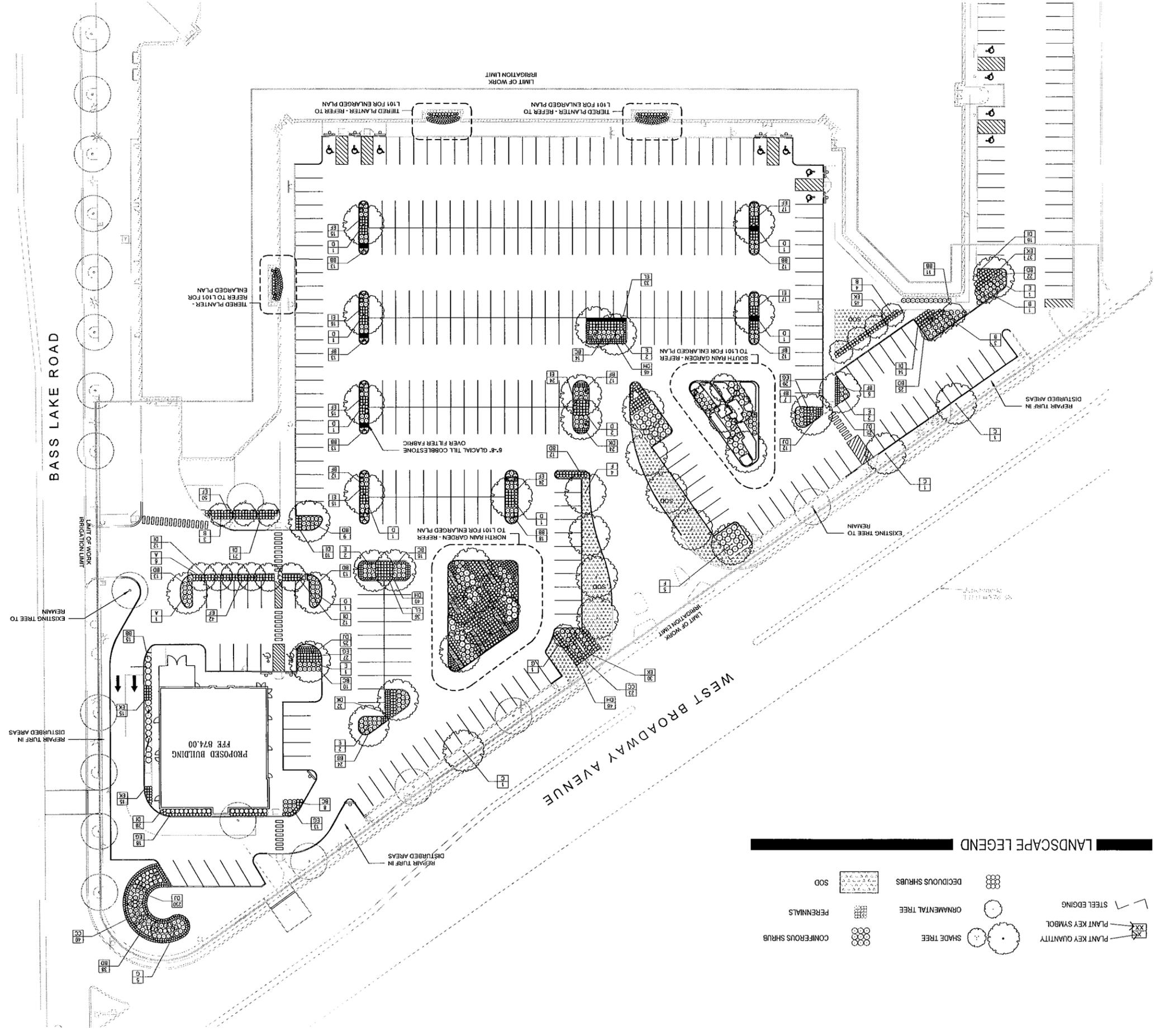
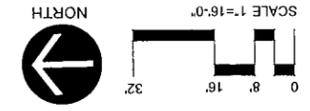
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PROJECT

P.U.D.

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 CRYSTAL, MN 55428

SHEET TITLE

ENLARGED
 LANDSCAPE
 PLAN & PLANT
 SCHEDULE

PROJECT NO.
 108.07.06

SCALE
 AS SHOWN

DATE
 09/17/13

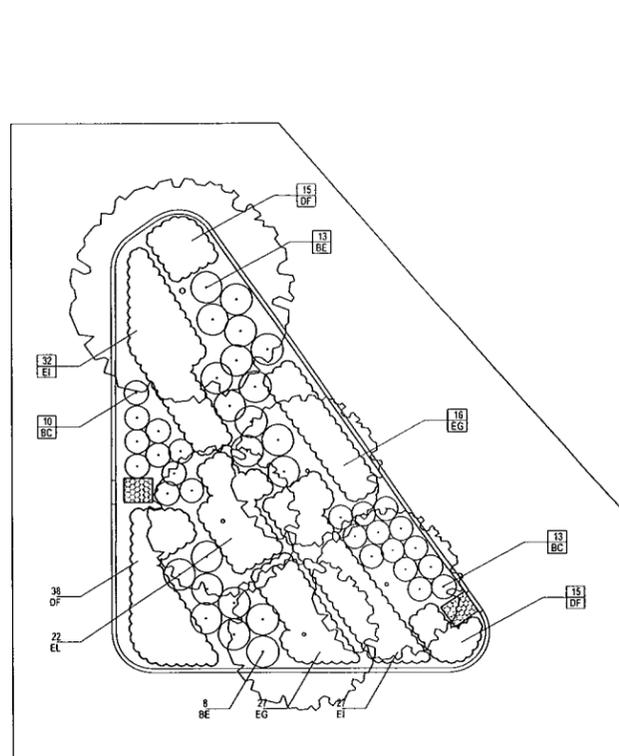
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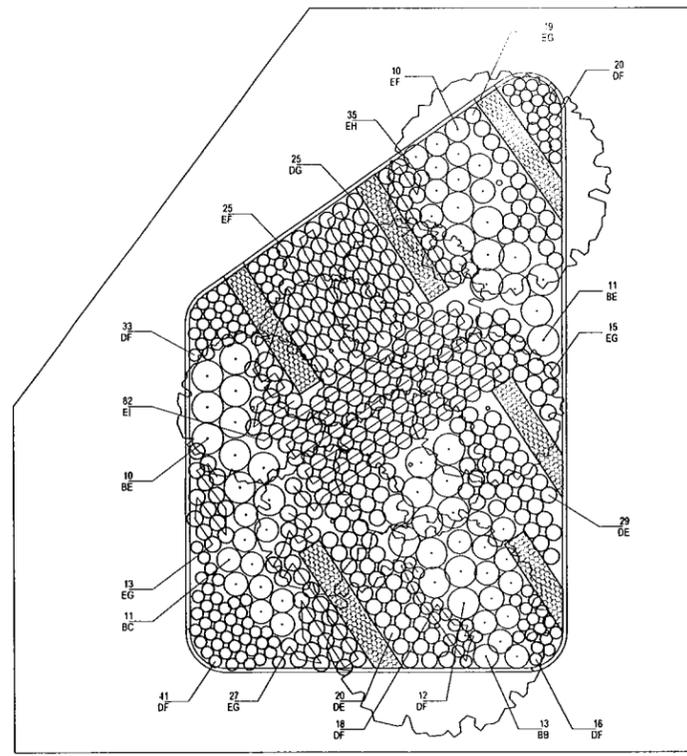
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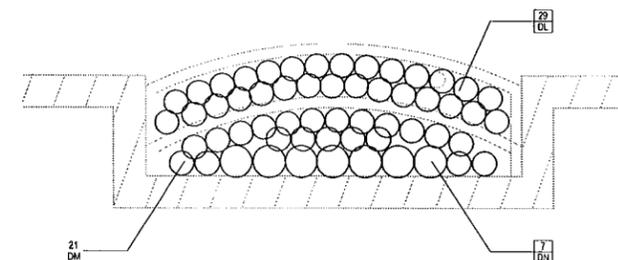
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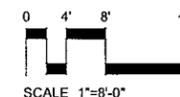
ENLARGED PLAN - SOUTH RAINGARDEN



ENLARGED PLAN - NORTH RAINGARDEN

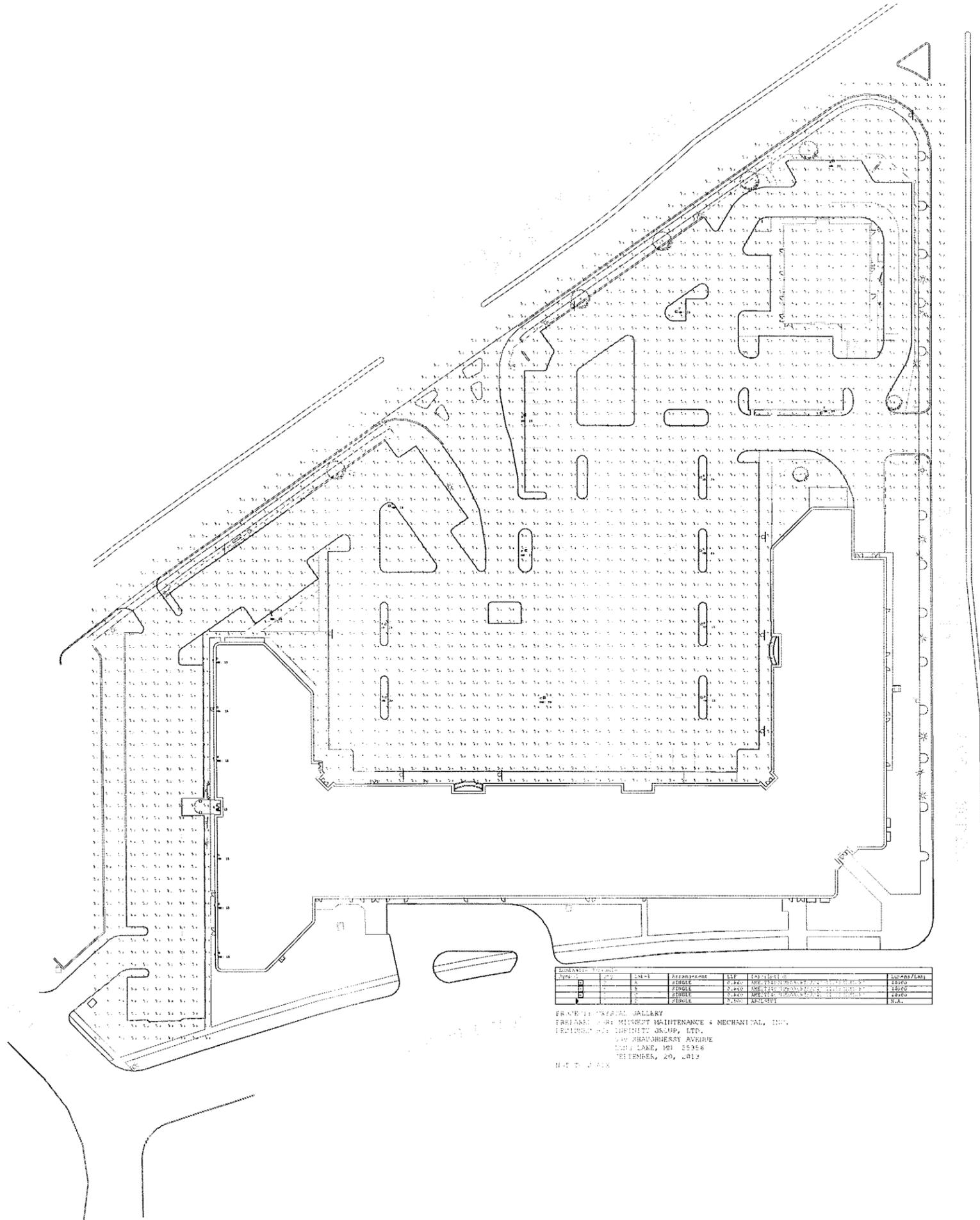


ENLARGED PLAN - TIERED PLANTERS (TYPICAL 3)



PLANT SCHEDULE

TYPE & QUANTITY	KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT / CONT.	SIZE	SPECIFICATIONS
DECIDUOUS TREES							
	A	7	Populus tremuloides	Quaking Aspen	B&B	2.5" CAL.	14'-16' HT., TRUNK FREE OF BRANCHES 6'7"
	B	11	Betula populifolia 'Whitespire' - Multistemmed	Whitespire Birch - Multistemmed	B&B	2.5" CAL.	14'-16' HT., TRUNK FREE OF BRANCHES 6'7"
	C	3	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Honeylocust	B&B	2.5" CAL.	12'-14' HT., TRUNK FREE OF BRANCHES 6'-7"
	D	10	Acer rubrum 'Franksred'	Red Sunset Maple	B&B	2.5" CAL.	14'-16' HT., TRUNK FREE OF BRANCHES 6'7"
	E	10	Quercus bicolor	Swamp White Oak	B&B	2.5" CAL.	14'-16' HT., TRUNK FREE OF BRANCHES 6'7"
	F	9	Tilia cordata 'Greenspire'	Greenspire Linden	B&B	2.5" CAL.	14'-16' HT., TRUNK FREE OF BRANCHES 6'7"
	G	6	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	7' HGT.	CLUMP, MIN. 5 STEMS
DECIDUOUS SHRUBS							
	BB	119	Diervilla lonicera	Bush Honeysuckle	CONT.	24" HGT.	
	BC	84	Salix purpurea 'Nana'	Arctic Blue Leaf Willow	CONT.	24" HGT.	
	BD	132	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	CONT.	18" HGT.	
	BE	42	Cornus sericea 'Isanti'	Isanti Dogwood	CONT.	24" HGT.	
	BF	83	Cornus stolonifera 'Farrow'	Arctic Fire Dogwood	CONT.	24" HGT.	
EVERGREEN SHRUBS							
	CC	63	Juniperus chinensis 'Sea Green'	Sea Green Juniper	CONT.	30" SPRD.	
PERENNIALS							
	DE	49	Vernonia fasciculata	Ironweed	CONT.	1 GAL.	PLANT 2.0' OC.
	DF	192	Iris Versicolor	Blue Flag Iris	CONT.	1 GAL.	PLANT 1.5' OC.
	DG	25	Asclepias tuberosa	Butterfly Flower	CONT.	1 GAL.	PLANT 2.0' OC.
	DH	132	Hemocallis	Daylily	CONT.	1 GAL.	PLANT 1.5' OC.
	DI	113	Nepeta fasseni 'Walker's Low'	Walker's Low Catmint	CONT.	1 GAL.	PLANT 1.5' OC.
	DJ	292	Sedum 'Autumn Joy'	Autumn Joy Sedum	CONT.	1 GAL.	PLANT 1.5' OC.
	DK	56	Echinacea purpurea	Purple conflower	CONT.	1 GAL.	PLANT 1.5' OC.
	DL	87	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	CONT.	1 GAL.	PLANT 1.5' OC.
	DM	63	Heurchera x 'Marmalade'	Marmalade Coral Bells	CONT.	1 GAL.	PLANT 1.5' OC.
	DN	21	Hosta 'Patriot'	Patriot Hosta	CONT.	1 GAL.	PLANT 1.5' OC.
PERENNIAL GRASSES							
	EF	198	Schizachyrium scoparium	Little Blue Stem	CONT.	1 GAL.	PLANT 2.0' OC.
	EG	195	Sporobolus heterolepis	Prairie Dropseed	CONT.	1 GAL.	PLANT 2.0' OC.
	EH	35	Carex vulpinoidea	Fox Sedge	CONT.	1 GAL.	PLANT 2.0' OC.
	EI	213	Panicum virgatum 'Northwinds'	Northwinds	CONT.	1 GAL.	PLANT 2.0' OC.
	EK	142	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Grass	CONT.	1 GAL.	PLANT 2.0' OC.
	EL	91	Sorghastrum nutans	Indian Grass	CONT.	1 GAL.	PLANT 2.0' OC.



SYMBOL	QTY	UNIT	Description	SLF	EX-101110	LOCATIONS
□	1	EA	SHOULDER	0.400	APR 1910110	1010110
□	1	EA	SHOULDER	0.400	APR 1910110	1010110
□	1	EA	SHOULDER	0.400	APR 1910110	1010110
□	1	EA	SHOULDER	0.400	APR 1910110	1010110

FRANKLIN GALLERY
 TRUSSING & ROOF MAINTENANCE & MECHANICAL, INC.
 12000 W. 10TH AVENUE
 DENVER, CO 80231
 SEPTEMBER, 20, 1912

H. T. 10110

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the law of the state of Minnesota.

Signature: _____ Name: Jeffrey P. Agnes AIA
 Date: _____ Reg. No.: 19452

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 MINNEAPOLIS, MN 55426-1603

PROJECT
CRYSTAL GALLERY

PLANNED DEVELOPMENT
 5510-5590 W. BROADWAY AVE.
 CRYSTAL, MN 55428

SHEET TITLE
PAD BUILDING PROPOSED FLOOR PLAN

PROJECT NO.
 108.07.06

SCALE
 AS SHOWN

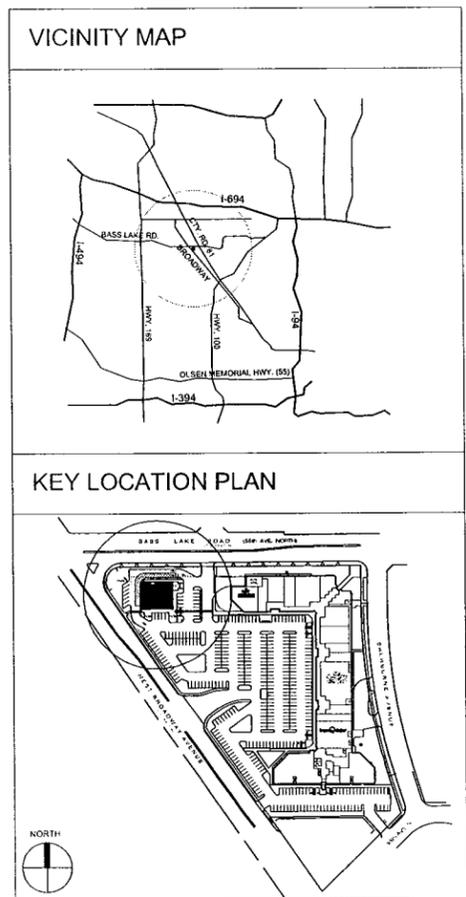
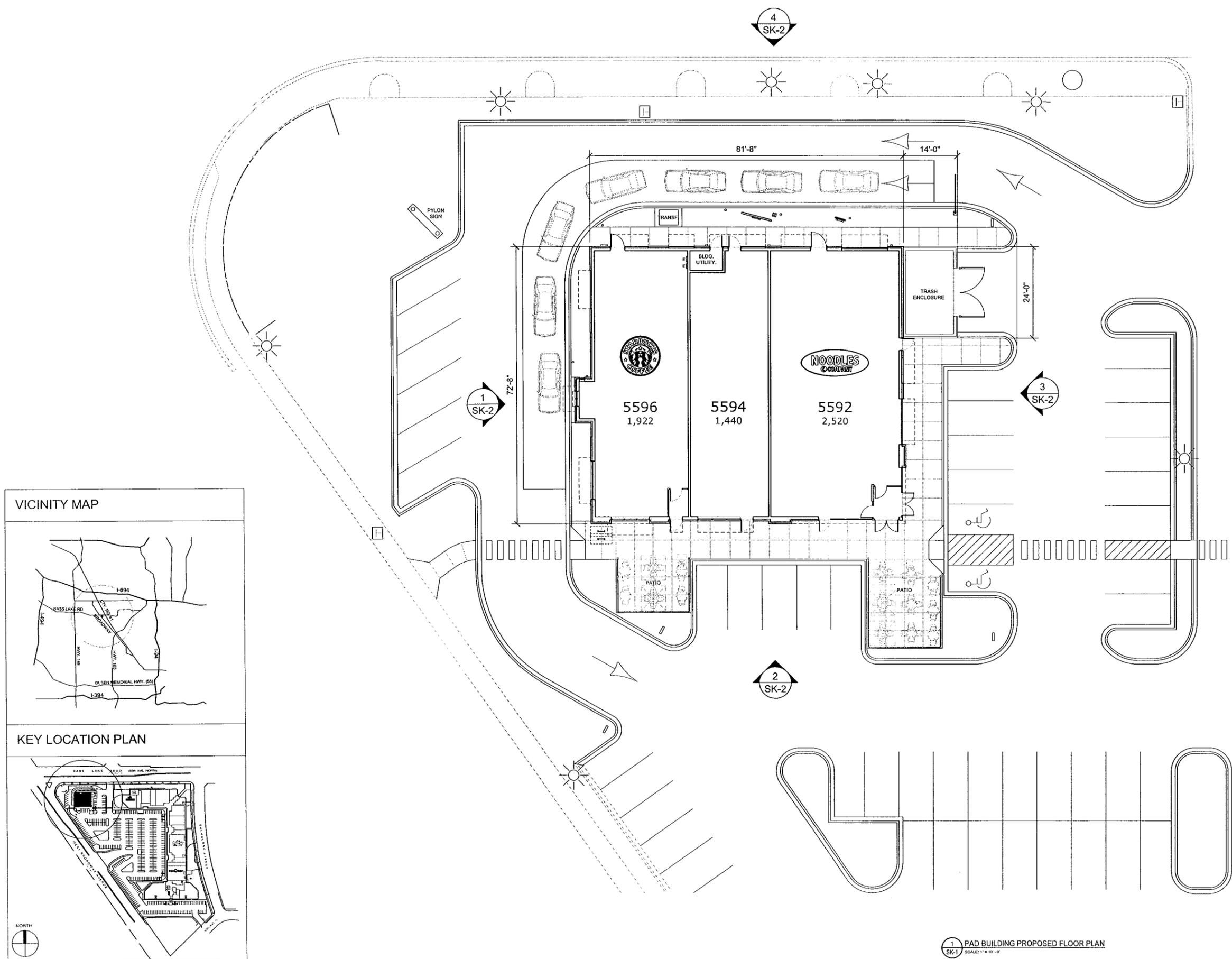
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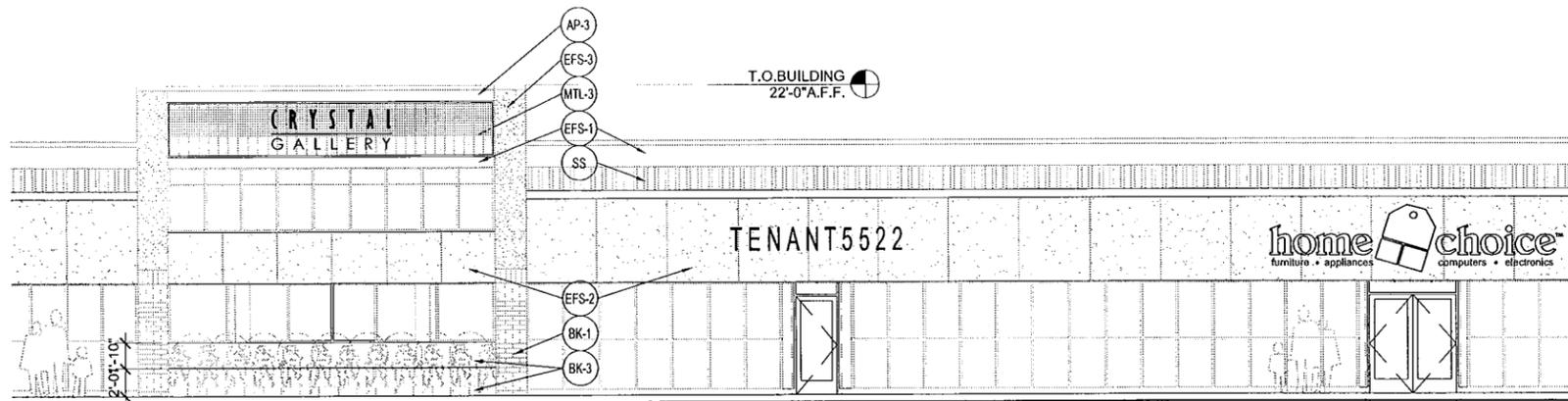
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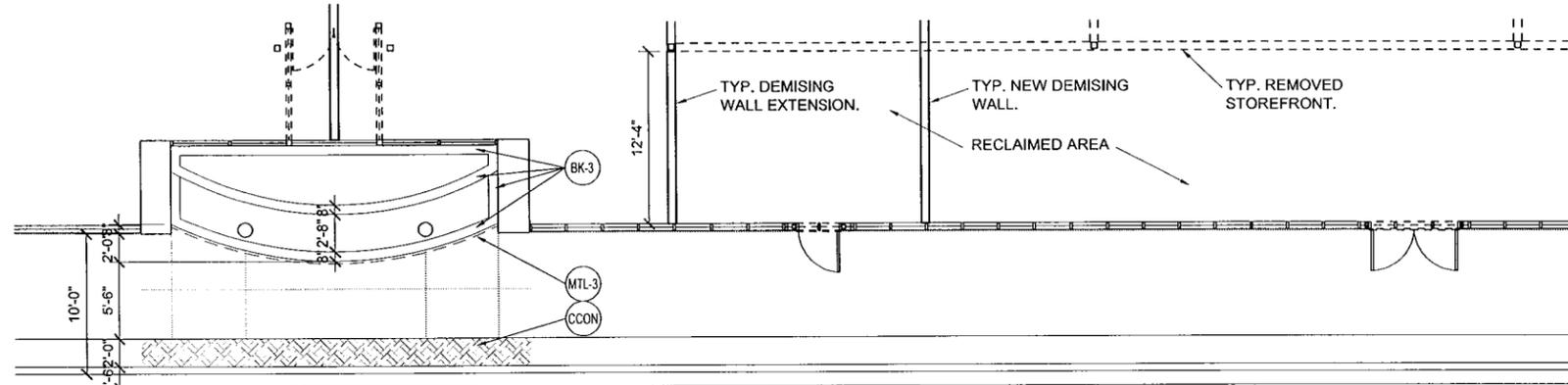
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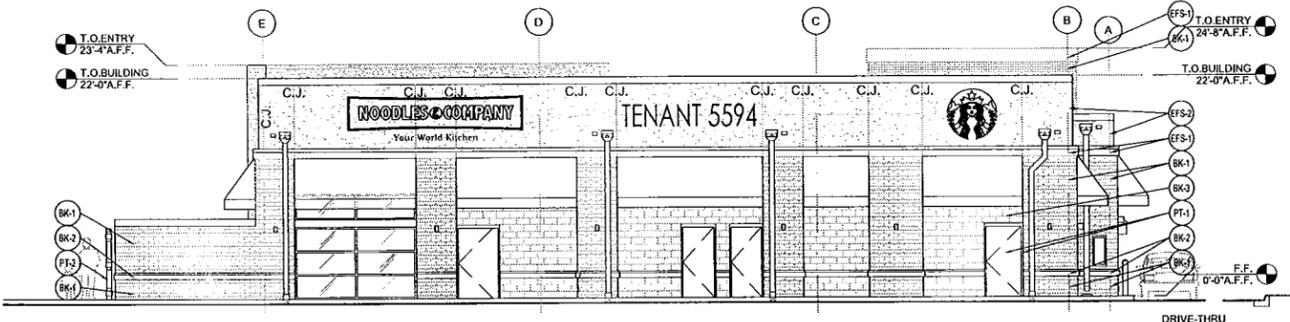
1 SK-1 PAD BUILDING PROPOSED FLOOR PLAN
 SCALE: 1" = 10' - 0"



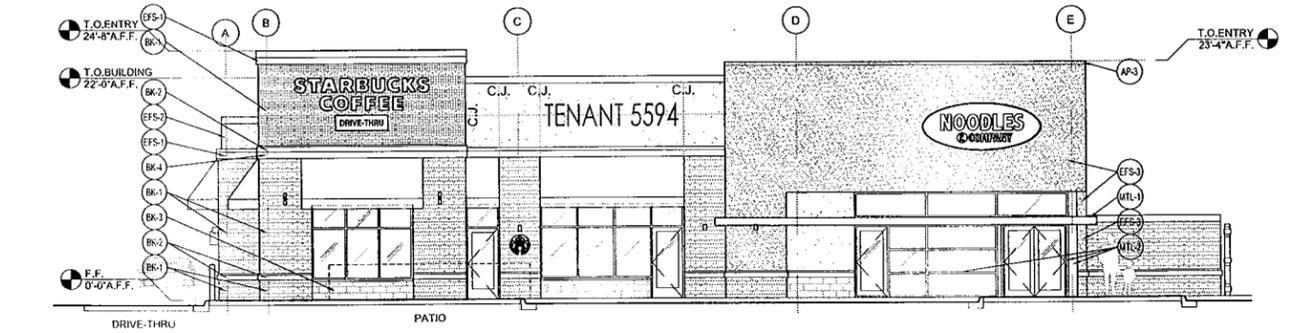
6 TYPICAL MAIN BUILDING PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



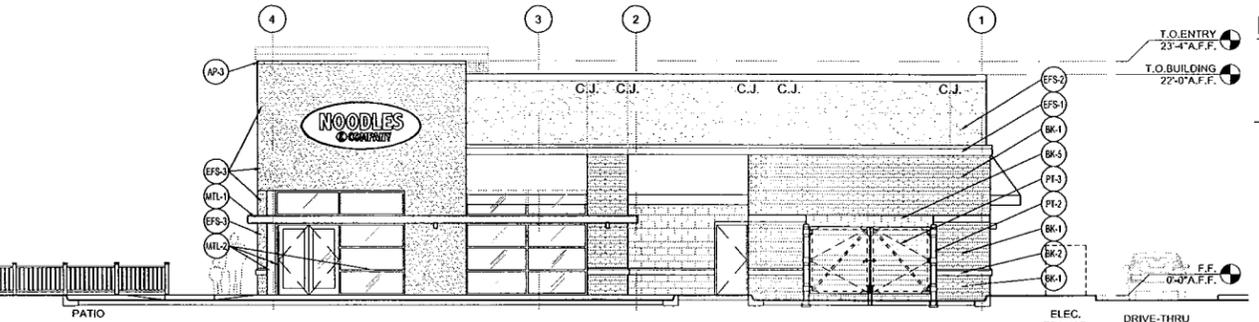
5 TYPICAL MAIN BUILDING PROPOSED FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"



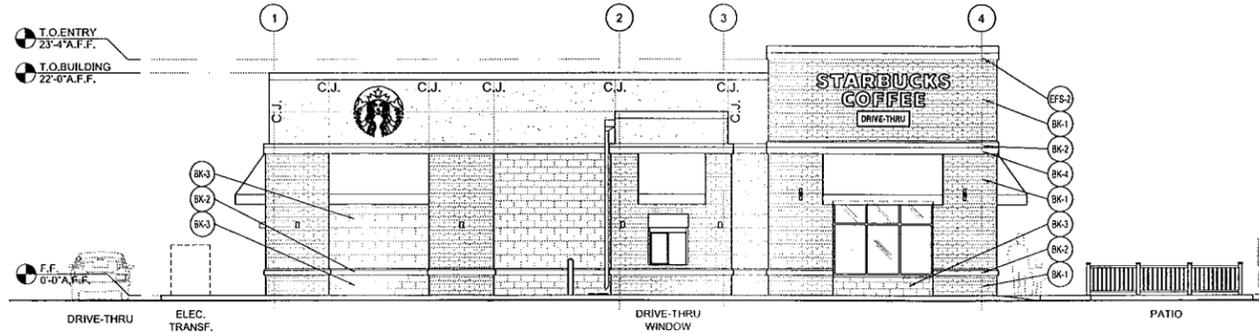
4 PAD BUILDING EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



2 PAD BUILDING EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



3 PAD BUILDING EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



1 PAD BUILDING EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"

FINISH PRODUCT SPECIFICATIONS

NOTE: INSTALL ALL FINISHES AND FINISH SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND MANUFACTURER'S STANDARD DETAILS FOR SIMILAR CONDITIONS.

LABEL	MATERIAL	MANUFACTURER	DESCRIPTION		LOCATION	REMARKS
			PRODUCT	COLOR		
AP-3	ACRYLIC POLYMER/SAND MIX	DEMAND PRODUCTS "STONEWALL" OR EQ.	ACRYLIC POLYMER/SAND MIX. MATCH EFS TEXT.	MATCH EFS-3	BUILDING EIFS COPING	
BK-1	BRICK VENEER	MATCH EXIST. BLDG.	BRICK VENEER KING SIZE	T.B.D. (DARK)	EXTERIOR WALL	APPLY "CHEM-TRETE" 40 VOC SEALER OR EQ.
BK-2	ROCK FACE BLOCK - SILL	COMMERCIAL GRADE	ROCKFACE BLOCK SILL 8X6X16 W/CHAMFERED EDGE	WHITE	BETWEEN BRICK; ENTRY TOWER	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-3	ROCK FACE BLOCK VENEER	COMMERCIAL GRADE	ROCKFACE BLOCK VENEER 8X8X16	T.B.D. (LIGHT)	BELOW WINDOW; BELOW EIFS WALL	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-4	ROCK FACE BLOCK - SILL	COMMERCIAL GRADE	ROCKFACE BLOCK SILL 8X8X16	WHITE	ENTRY TOWER	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-5	SMOOTH FACE CMU BLOCK	COMMERCIAL GRADE	SMOOTH FACE CMU BLOCK 8X8X16	T.B.D. (LIGHT)	TRASH ENCLOSURE	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
CCON	COLORED CONCRETE	COMMERCIAL GRADE	STAMPED, INTEGRALLY COLORED CONC.	T.B.D.	EDGE OF MALL SIDEWALK	
EFS-1	EXTERIOR INSULATION & FINISH SYSTEM	DRYVIT OR EQUAL	GENESIS BASECOAT / REINFORCING MESH	SANDPEBBLE FINISH/ COLOR T.B.D. (WHITE)	EXTERIOR FACADE	REFER TO SECTIONS FOR THICKNESSES (1 1/2" MIN.)
EFS-2	EXTERIOR INSULATION & FINISH SYSTEM	DRYVIT OR EQUAL	GENESIS BASECOAT / REINFORCING MESH	SANDPEBBLE FINISH/ COLOR T.B.D. (MEDIUM)	EXTERIOR FACADE	REFER TO SECTIONS FOR THICKNESSES (1 1/2" MIN.)
EFS-3	EXTERIOR INSULATION & FINISH SYSTEM	DRYVIT OR EQUAL	GENESIS BASECOAT / REINFORCING MESH	SANDPEBBLE FINISH/ COLOR T.B.D. (DARK)	EXTERIOR FACADE	REFER TO SECTIONS FOR THICKNESSES (1 1/2" MIN.)
MTL-1	METAL CANOPY	COMMERCIAL MANUF.	POWDER-COATED ALUM.	COLOR: RED	OVER WINDOWS	
MTL-2	ALUM. STOREFRONT	COMMERCIAL MANUF.	CLEAR ANOD. ALUM. STOREFRONT	COLOR: CLEAR	STOREFRONT MULLIONS	
MTL-3	METAL GRATE	COMMERCIAL MANUF.	METAL GRATE	COLOR: T.B.D.	MALL ARBORS	
PT-1	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	EXTERIOR PAINT ENAMEL	MATCH EFS-1	H.M. DOORS AND FRAMES; TRASH GATE MTL / HARDWARE	1 COAT PRIMER; 2 COATS PAINT
PT-2	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	EXTERIOR PAINT	SAFETY YELLOW	BOLLARDS	1 COAT PRIMER; 2 COATS PAINT
PT-3	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	EXTERIOR PAINT	MATCH EFS-1	TRASH GATE WD. SLATS	1 COAT PRIMER; 2 COATS PAINT
SS	STANDING SEAM METAL ROOF	BERRIDGE OR EQUAL	CEE-LOCK SYSTEM	T.B.D.	MALL BUILDING ROOF	

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Signature: _____ Name: Jeffrey P. Agnes AIA
Date: _____ Reg. No.: 19452

OWNER
MIDWEST MANAGEMENT, INC.
710 PENNSYLVANIA AVE. S.
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MINNEAPOLIS, MN 55426-1603

PROJECT
CRYSTAL GALLERY

PLANNED DEVELOPMENT
5510-5590 W. BROADWAY AVE.
CRYSTAL, MN 55428

SHEET TITLE
PAD BUILDING PROPOSED EXTERIOR ELEVATIONS
TYP. MAIN BUILDING PROPOSED FLOOR PLAN & EXTERIOR ELEVATIONS

PROJECT NO.
108.07.06

SCALE
AS SHOWN

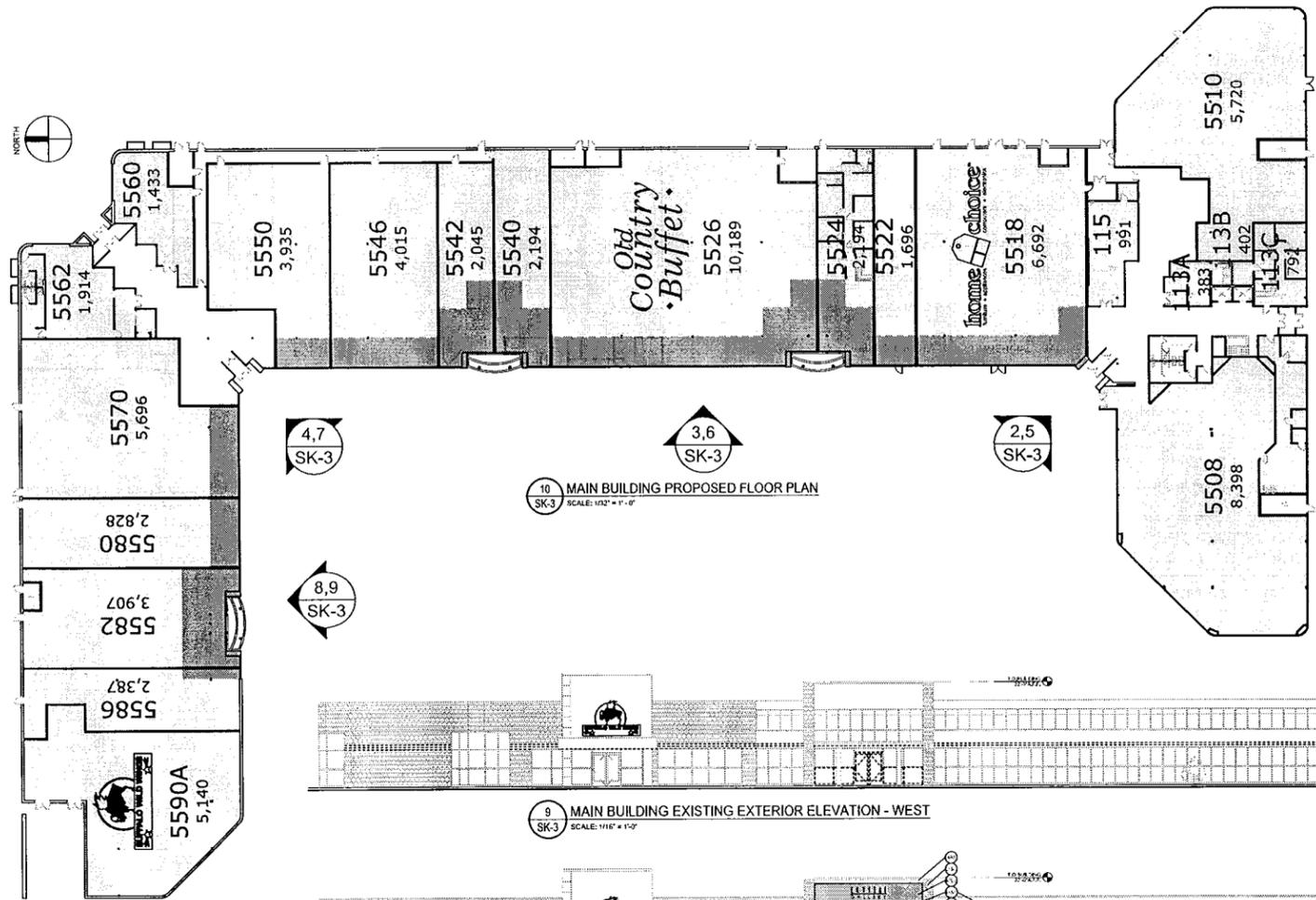
DATE
09/20/13

REVISION DATE

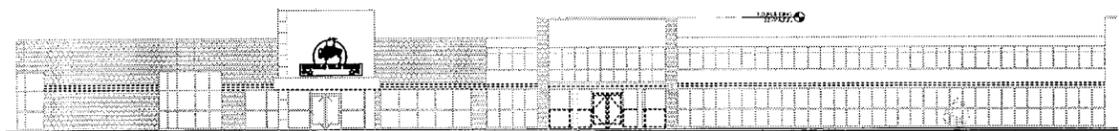
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

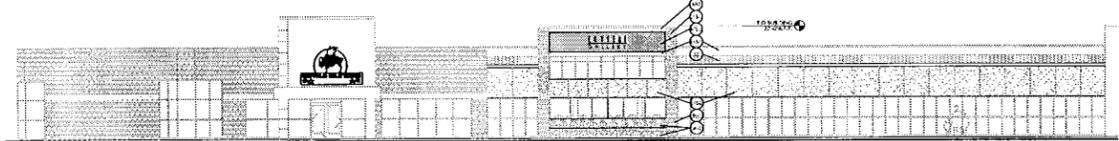
SK-2



10 SK-3 MAIN BUILDING PROPOSED FLOOR PLAN
SCALE: 1/32" = 1'-0"



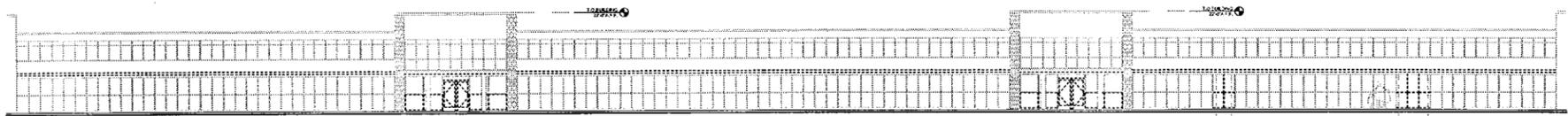
9 SK-3 MAIN BUILDING EXISTING EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



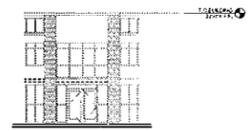
8 SK-3 MAIN BUILDING PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



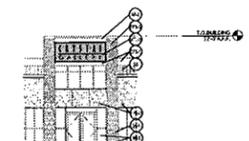
7 SK-3 MAIN BUILDING EXISTING EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



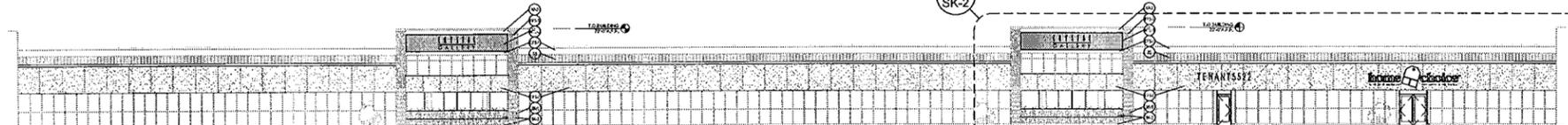
6 SK-3 MAIN BUILDING EXISTING EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



5 SK-3 MAIN BUILDING EXISTING EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



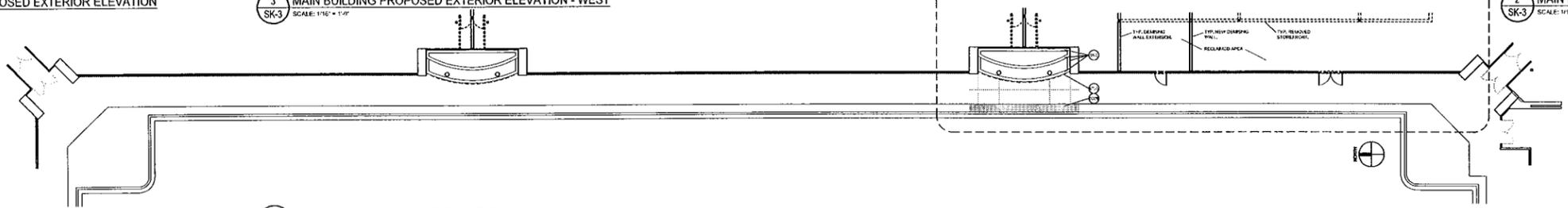
4 SK-3 MAIN BUILDING PROPOSED EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



3 SK-3 MAIN BUILDING PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



2 SK-3 MAIN BUILDING PROPOSED EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



1 SK-3 MAIN BUILDING PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0"

FINISH PRODUCT SPECIFICATIONS

NOTE: INSTALL ALL FINISHES AND FINISH SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND MANUFACTURER'S STANDARD DETAILS FOR SIMILAR CONDITIONS.

LABEL	MATERIAL	MANUFACTURER	DESCRIPTION		LOCATION	REMARKS
			PRODUCT	COLOR		
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BK-1	BRICK VENEER	MATCH EXIST. BLDG.	BRICK VENEER KING SIZE	T.B.D. (DARK)	EXTERIOR WALL	APPLY "CHEM-TRETE" 40 VOC SEALER OR EQ.
BK-2	ROCK FACE BLOCK - SILL	COMMERCIAL GRADE	ROCKFACE BLOCK SILL 8X8X16 W/CHAMFERED EDGE	WHITE	BETWEEN BRICK; ENTRY TOWER	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-3	ROCK FACE BLOCK VENEER	COMMERCIAL GRADE	ROCKFACE BLOCK VENEER 8X4X16	T.B.D. (LIGHT)	BELOW WINDOW; BELOW EIFS WALL	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-4	ROCK FACE BLOCK - SILL	COMMERCIAL GRADE	ROCKFACE BLOCK SILL 8X8X16	WHITE	ENTRY TOWER	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
BK-5	SMOOTH FACE CMU BLOCK	COMMERCIAL GRADE	SMOOTH FACE CMU BLOCK 8X8X16	T.B.D. (LIGHT)	TRASH ENCLOSURE	APPLY "CHEM-TRETE" PB VOC SEALER OR EQ.
CCON	COLORED CONCRETE	COMMERCIAL GRADE	STAMPED, INTEGRALLY COLORED CONC.	T.B.D.	EDGE OF MALL SIDEWALK	
EFIS-1	EXTERIOR INSULATION & FINISH SYSTEM	DRYVIT OR EQUAL	GENESIS BASECOAT / REINFORCING MESH	SANDPEBBLE FINISH/ COLOR T.B.D. (WHITE)	EXTERIOR FACADE	REFER TO SECTIONS FOR THICKNESSES (1 1/2" MIN.
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SS	STANDING SEAM METAL ROOF	BERRIDGE OR EQUAL	CEE-LOCK SYSTEM	T.B.D.	MALL BUILDING ROOF	

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Date: _____ Reg. No.: 19452

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CRYSTAL, MN 55428

SHEET TITLE
MAIN BUILDING
EXISTING & PROPOSED
EXTERIOR ELEVATIONS
MAIN BUILDING
PROPOSED FLOOR PLAN

PROJECT NO.
108.07.06

SCALE
AS SHOWN

DATE
09/20/13

REVISION DATE
-

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SHEET NO.
SK-3 OF 3