

RECEIVED
4/22/13

PROPOSAL FORM
PROPOSAL TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF CRYSTAL
5527 XENIA AVENUE NORTH

PLAN UPDATED
4/02/2013

CHECK ONE:
 BUILDER OFFERS \$50,000 TO PURCHASE THIS LOT
 BUILDER OFFERS \$500 FOR A SIX-MONTH OPTION TO PURCHASE THIS LOT FOR \$50,000

This proposal is not a purchase agreement or other binding contract. At this time, the Builder is submitting a proposal to purchase this lot and build a new single family house in accordance with the RFP Guidelines, or is requesting a six-month option for same.

If a builder's proposal is tentatively accepted by the EDA board, then EDA staff would work with the Builder to determine the specific house plan and present it at the next EDA meeting. If the EDA board gives final approval at that time, the Builder would sign a Purchase & Redevelopment Agreement and provide \$2,000 earnest money for the lot. Only after such an Agreement is signed would a binding contract exist between the EDA and the Builder.

Builders may purchase a 6-month option on a lot for \$500, renewable for an additional 6 months for an additional \$500. The option provides the builder with exclusive rights to purchase the lot and build a house subject to the normal EDA process, requirements and guidelines. As a condition of the option, the builder must list the lot with a to-be-built house on the MLS for the duration of the option. The number of options is limited: No builder may have options on more than 10% of the EDA's lots, and no more than 50% of the EDA's lots may be under option at any time.

BUILDER: (Builder is required to be a Residential Building Contractor licensed by the State of Minnesota.)

Name: NOVAK-FLECK Incorporated State License Number: 00001631
Tel (1): 763-424-4955 Tel (2): _____ Fax: 763-424-1030
Address: 8857 ZEARLAND AVE N City/State/Zip: BROOKLYN Park MN
C. Johnson
Email: fleck@NOVAK-FLECK-com John Sutter 2-22-13
Signature Date

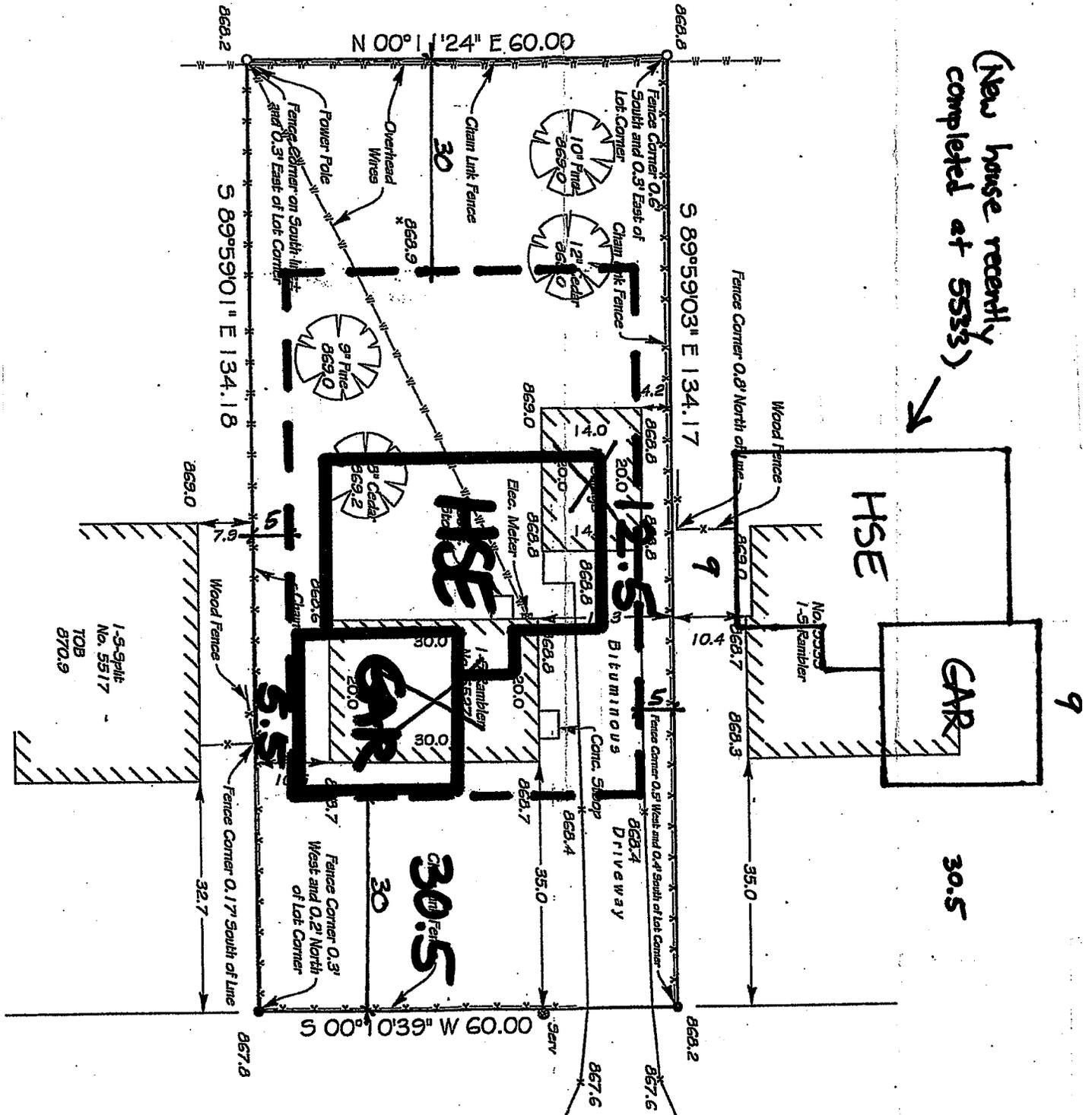
REQUIRED ATTACHMENTS AND ADDITIONAL INFORMATION:

- Attach one representative example of a house you would plan to build on this lot if your proposal is selected. It does not need to show exactly how it would be placed on the lot; it just needs to show the approximate size, quality and features you would anticipate a new house would have on this lot. A specific house plan would be determined after a proposal is tentatively accepted by the EDA.
- The EDA will only sell lots to builders who have experience in house construction in Minnesota. Please list the addresses of three houses you have built in Minnesota within the last five years, or attach other evidence of qualification for review by the EDA:

House #1: _____ 7024 60TH AVE N _____
House #2: _____ 4553 HAMPSHIRE AVE N _____
House #3: _____ 5918 KENTUCKY AVE N _____

SUBMIT PROPOSAL TO: Attn: John Sutter, Crystal EDA, 4141 Douglas Dr N, Crystal MN 55422
TEL: 763.531.1142 FAX: 763.531.1188 john.sutter@crystalmn.gov
PROPOSALS MAY BE SUBMITTED BY HAND DELIVERY, U.S. MAIL, FAX, OR EMAIL (.pdf format).
PROPOSALS MAY BE SUBMITTED AT ANY TIME AND WILL BE CONSIDERED ON A "FIRST COME, FIRST SERVED" BASIS UNLESS THE LOT HAS BEEN OPTIONED BY ANOTHER BUILDER.

(New house recently completed at 5527)

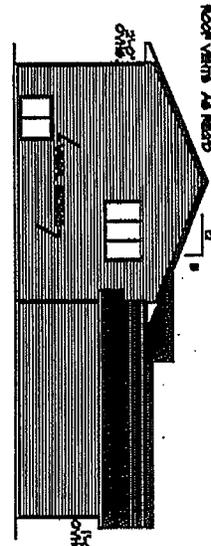


1-S-9MH
No. 5517
TOB
870.9

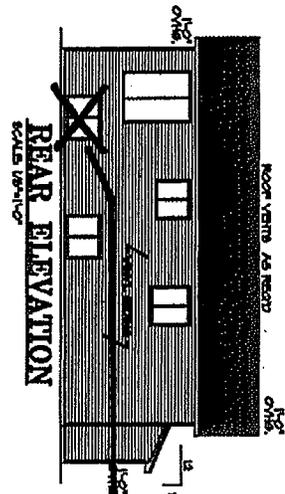
5527
Xenia Avenue North

EBIT 866.78 * 867.0
EBIT 866.75 * 867.1
EDBT 866.73 * 867.1
TOP MH 867.02

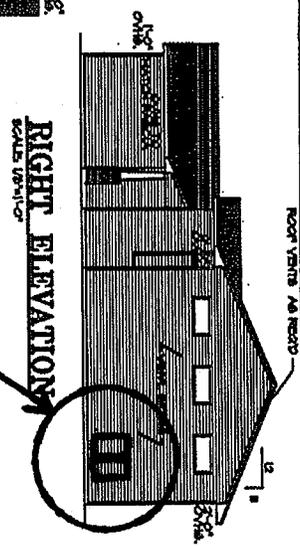




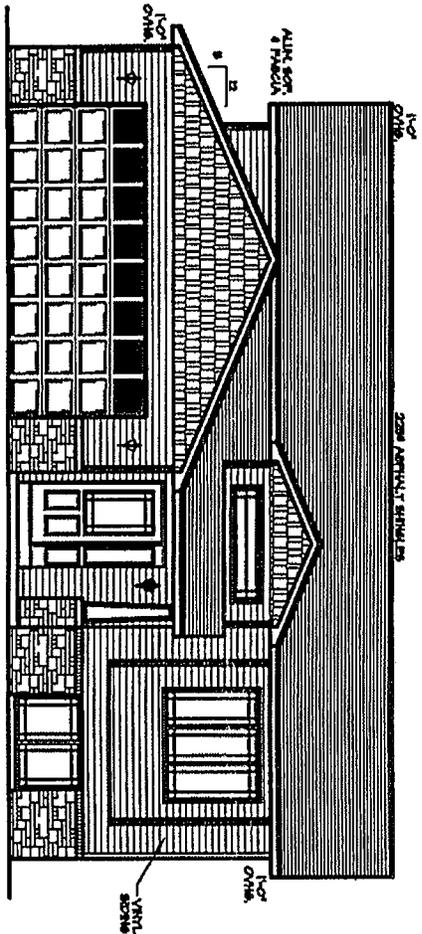
LEFT ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



RIGHT ELEVATION
SCALE 1/8"=1'-0"

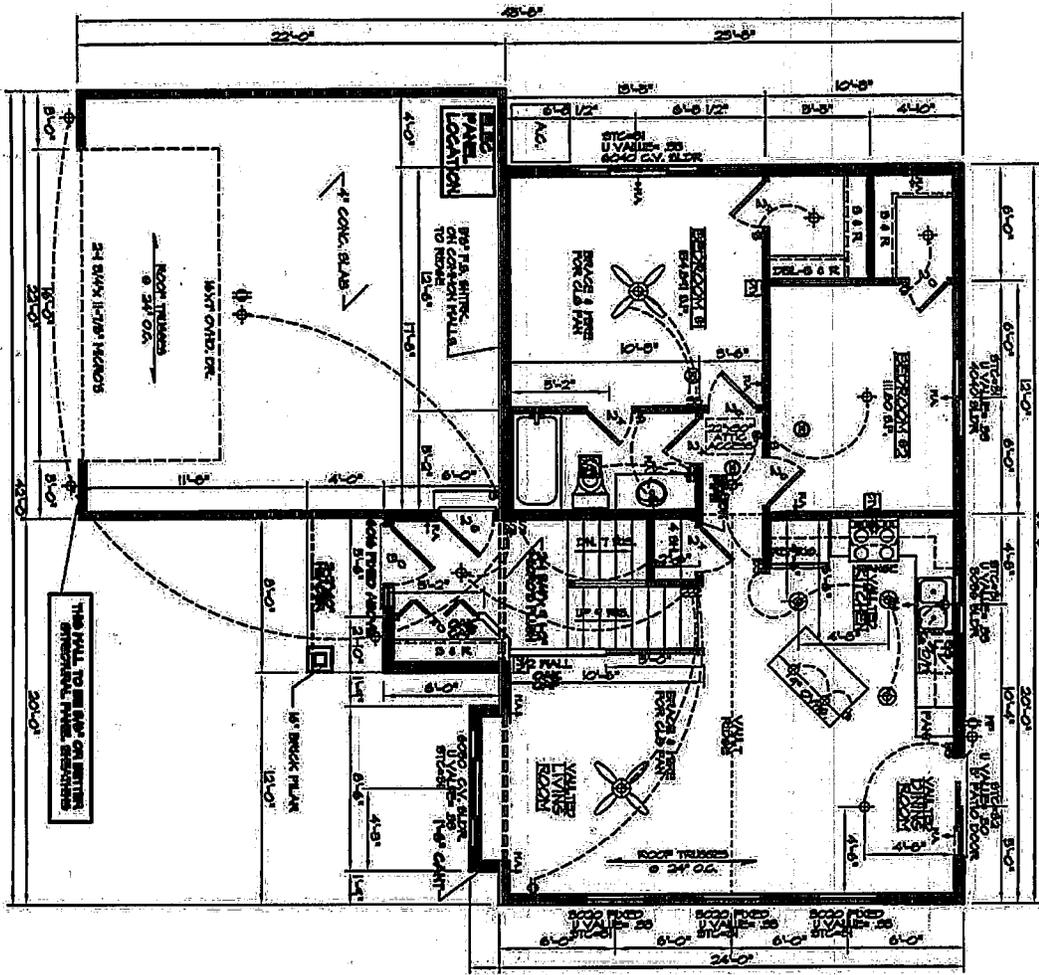


FRONT ELEVATION
SCALE 1/8"=1'-0"



NOTE:
-DUE TO ELECTRONIC REPRODUCTION, THIS PLAN MAY NOT SCALE CORRECTLY. THE HOUSE WILL BE BUILT ACCORDING TO THE DIMENSIONS SPECIFIED.
-ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.
-ALL ELECTRICAL SYMBOLS SHOWN ARE APPROXIMATE. ACTUAL PLACEMENT WILL BE DETERMINED BY THE ELECTRICIAN PER CODE REQUIREMENTS.
-ALL SQUARE FOOTAGES ARE DESIGNED RELIABLE BUT NOT GUARANTEED.
-ARCHITECT BOXES ON EXTERIOR WALLS, (CATWALKS) ONE CALL & PLAIN ALL EXTERIOR OPENINGS.

PLAN NUMBER/DATE	2224 APRIL 17, 1975
OWNER/DATE	
ARCHITECT/DATE	
ENGINEER/DATE	
CONTRACTOR/DATE	
PERMITS/DATE	
FOUNDATION/DATE	
FRAMING/DATE	
ROOFING/DATE	
MECHANICAL/DATE	
ELECTRICAL/DATE	
PLUMBING/DATE	
PAINT/DATE	
FINISHES/DATE	
LANDSCAPE/DATE	
OTHER/DATE	



FLOOR PLAN

SCALE 1/8" = 1'-0"

NOTE:
 -DUE TO ELECTRONIC REPRODUCTION, THIS PLAN MAY NOT SCALE CORRECTLY. THE HOME WILL BE BUILT ACCORDING TO THE DIMENSIONS SPECIFIED.
 -ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.
 -ALL ELECTRICAL SYMBOLS SHOWN ARE APPROXIMATE ACTUAL PLACEMENT. WILL BE DETERMINED BY THE ELECTRICIAN PER CODE REQUIREMENTS.
 -ALL SQUARE FOOTAGES ARE DEEMED RELIABLE BUT NOT GUARANTEED.
 -CLOSET BOXES ON EXTERIOR WALLS, CATEGORY CND.
 -CALLER'S PLAN ALL EXTERIOR OPENINGS.



DATE	11/11/2011
BY	DAVID J. WILSON
PROJECT	WEDGEWOOD
CLIENT	DAVID J. WILSON
ADDRESS	1111 W. 11TH ST. S. #1000
CITY	MINNEAPOLIS, MN
STATE	MINN.
ZIP	55404
PHONE	612.338.1111
FAX	612.338.1111
EMAIL	DAVID@WILSONARCHITECTS.COM
WEBSITE	WWW.WILSONARCHITECTS.COM
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