

PROPOSAL FORM

PROPOSAL TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF CRYSTAL

6529 50th Avenue North

The West 90 feet of the East 310 feet of the North 1/2 of the South 1/2 of the Southwest 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 8, T118N R21W, Hennepin County, Minnesota.

Note: A street easement will be granted across the North 30 feet, and an alley easement will be granted across the South 7 feet.

BUILDER OFFERS \$60,000 FOR THIS LOT (this is the EDA's minimum price)

BUILDER: (Builder is required to be a Residential Building Contractor licensed by the State of Minnesota.)

Name: NOVAK-FLECK, Incorporated State License Number: BC0013161

Tel (1): (763) 424-4955 Tel (2): _____ Fax: (763) 424-1030

Address: 8857 Zealand Ave N. City/State/Zip: Brooklyn Park

Email: ctroutman@novak-fleck.com Signature: [Handwritten Signature] Date: 01/15/2013

This proposal is not a purchase agreement or other binding contract. At this time, the Builder is submitting a proposal to purchase this lot and build a new single family house in accordance with the RFP Guidelines. If this proposal is tentatively accepted by the EDA board, then EDA staff would work with the Builder to determine the specific house plan and present it at the next EDA meeting. If the EDA board gives final approval at that time, the Builder would sign a Purchase & Redevelopment Agreement and provide \$2,000 earnest money for the lot. Only after such an Agreement is signed would a binding contract exist between the EDA and the Builder.

REQUIRED ATTACHMENTS AND ADDITIONAL INFORMATION:

- Attach one representative example of a house you would plan to build on this lot if your proposal is selected. It does not need to show exactly how it would be placed on the lot; it just needs to show the approximate size, quality and features you would anticipate a new house would have on this lot. A specific house plan would be determined after a proposal is tentatively accepted by the EDA.
- The EDA will only sell lots to builders who have experience in house construction in Minnesota. Please list the addresses of three houses you have built in Minnesota within the last five years, or attach other evidence of qualification for review by the EDA:

House #1: 7034 60th Avenue North

House #2: 5533 Kenia Avenue North

House #3: 4553 Hampshire Avenue North

SUBMIT PROPOSAL TO: Attn: John Sutter, Crystal EDA, 4141 Douglas Dr N, Crystal MN 55422
 TEL: 763.531.1142 FAX: 763.531.1188
john.sutter@crystalmn.gov

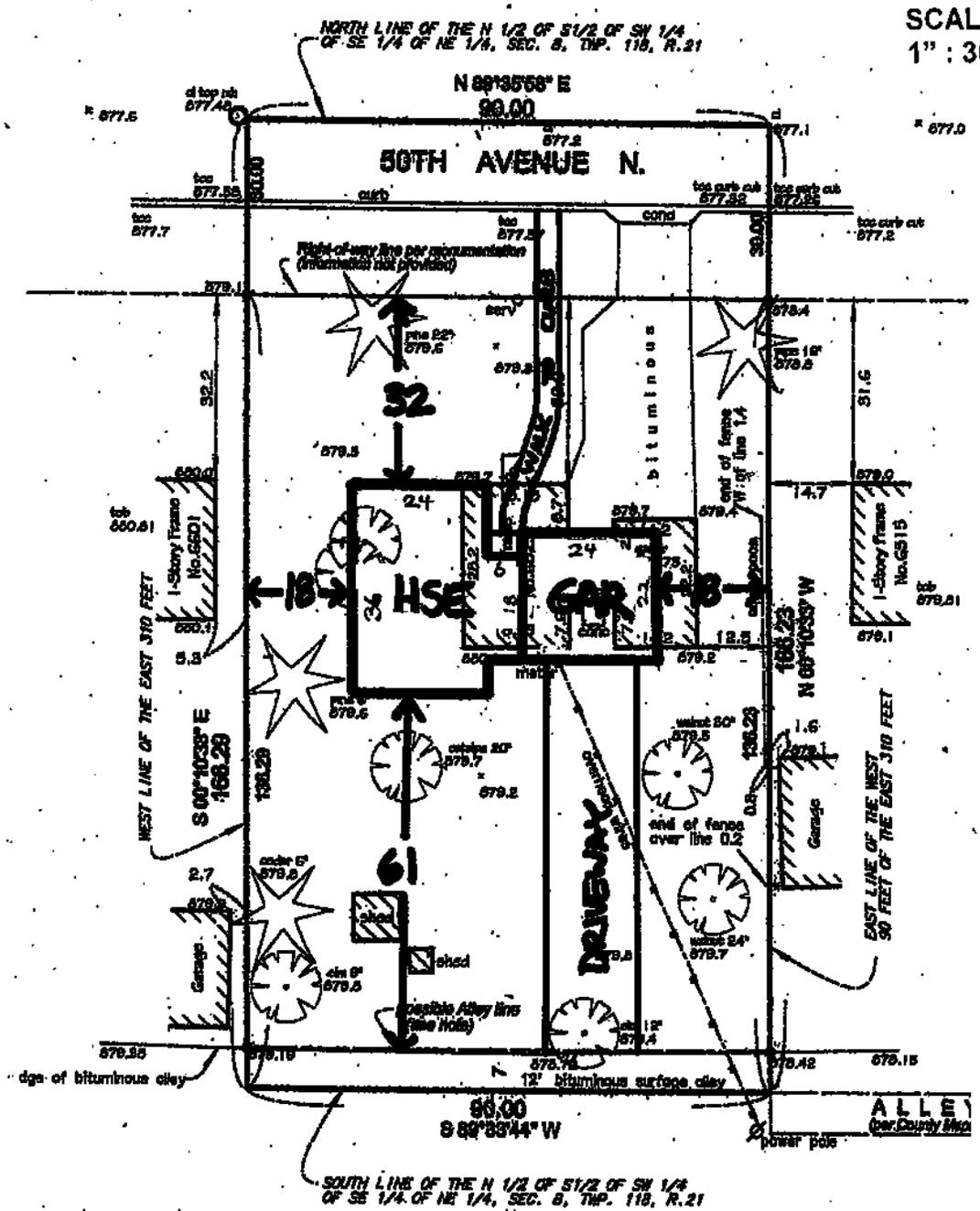
PROPOSALS MAY BE SUBMITTED BY HAND DELIVERY, U.S. MAIL, FAX, OR EMAIL (.pdf format)

PROPOSALS MAY BE SUBMITTED AT ANY TIME, AND WILL BE CONSIDERED ON A "FIRST COME, FIRST SERVED" BASIS



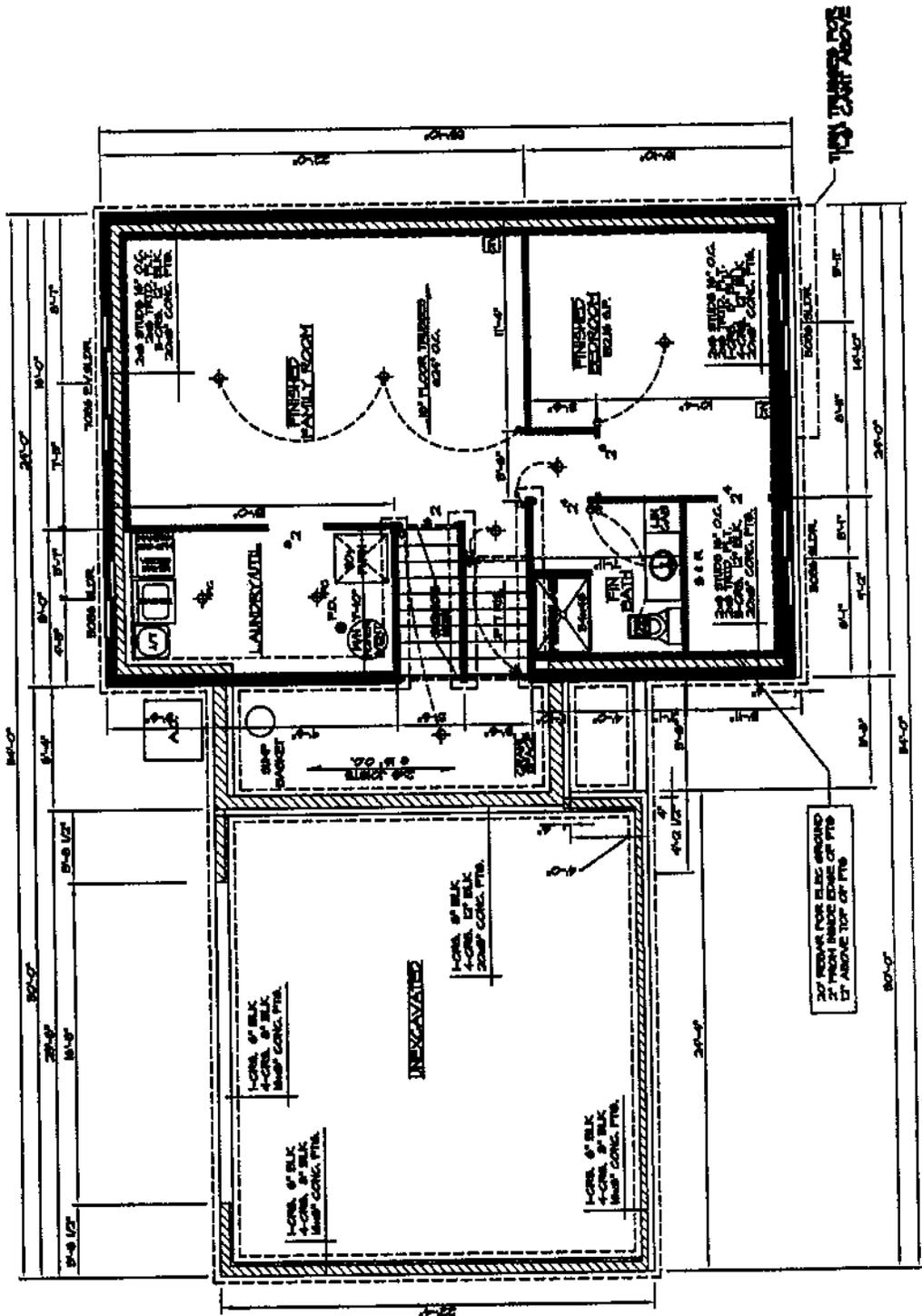


SCALE
1" : 30'



NE

NOTE:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

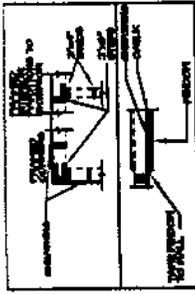


LOWER LEVEL FOUNDATION PLAN
 SCALE 1/4"=1'-0"

WINDOW HDR. SIZES
 1'-5" = 2-2x4 HDRS.
 6'-8" = 2-1 5/4"x8 1/2" TIMBERSTRAND
 9'-12" = 2-1 5/4"x11 7/8" TIMBERSTRAND
 (UNLESS NOTED OTHERWISE)

NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

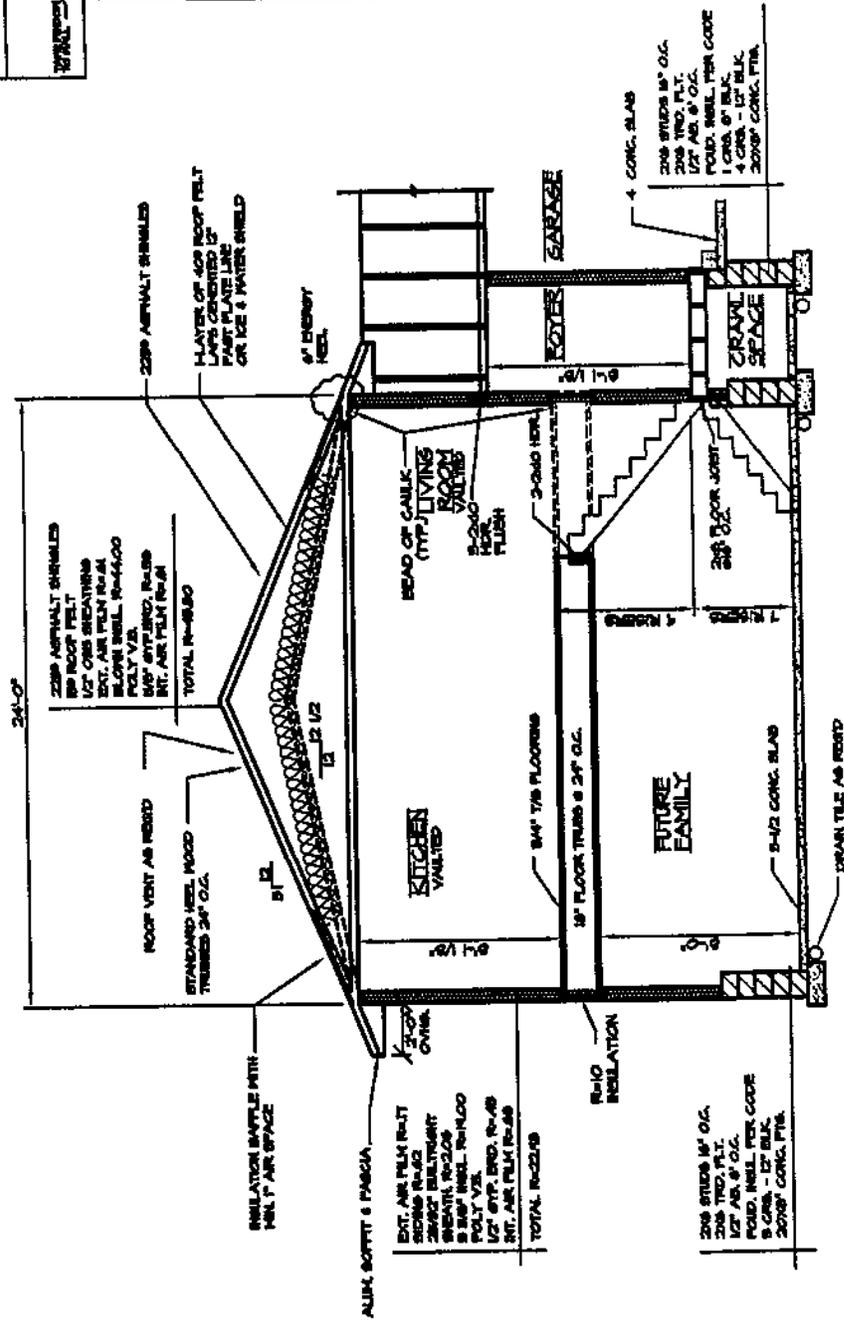
PROJECT NO.	
DATE	
OWNER	
DESIGNER	
CONTRACTOR	
PROJECT NAME	
PROJECT ADDRESS	
CITY	
STATE	
ZIP	



ROOF VENT: 2x8 STUDS @ 16" O.C., 2x8 TRUSS @ 24" O.C., 1/2" AIR @ 1/2" O.C., FLOOR, INELL. PER CODE, 5" CONG. - 12" BLK., 200# CONG. FWA.

INSULATION: 6" ENERGY NEEL.

STRUCTURE: 2x8 STUDS @ 16" O.C., 2x8 TRUSS @ 24" O.C., 1/2" AIR @ 1/2" O.C., FLOOR, INELL. PER CODE, 5" CONG. - 12" BLK., 200# CONG. FWA.



ALUM. SUPPORT & FASCIA: 2x4 STUDS @ 16" O.C., 2x4 TRUSS @ 24" O.C., 1/2" AIR @ 1/2" O.C., FLOOR, INELL. PER CODE, 5" CONG. - 12" BLK., 200# CONG. FWA.

INSULATION: 6" ENERGY NEEL.

ROOF VENT AS REQ'D: 2x8 STUDS @ 16" O.C., 2x8 TRUSS @ 24" O.C., 1/2" AIR @ 1/2" O.C., FLOOR, INELL. PER CODE, 5" CONG. - 12" BLK., 200# CONG. FWA.

ROOF VENT AS REQ'D: 2x8 STUDS @ 16" O.C., 2x8 TRUSS @ 24" O.C., 1/2" AIR @ 1/2" O.C., FLOOR, INELL. PER CODE, 5" CONG. - 12" BLK., 200# CONG. FWA.