

CITY OF CRYSTAL

PROPOSED SPECIAL LAND USE APPLICATION FOR A 5,000 SQ. FT. BUILDING TO BE BUILT ON A NEW PARCEL BETWEEN TARGET AND CRYSTAL SHOPPING CENTER

PUBLIC HEARING NOTICE 7:00 P.M. ON MONDAY, JANUARY 11, 2016 CRYSTAL CITY HALL (4141 DOUGLAS DR N)

The Crystal Planning Commission will consider a Special Land Use Application to subdivide a 1.1 acre parcel from the existing Target property (5537 West Broadway Avenue) for construction of a new 5,000 sq. ft. commercial building on what is now the north end of the Target parking lot. The new parcel and building would be developed by the owners of the adjacent Crystal Shopping Center.

This proposed development requires the following approvals by the City of Crystal:

- Preliminary and Final Plat (Cardinal Court 2nd Addition)
- Site and Building Plan Review for the new parcel and building
- Conditional Use Permit (CUP) to allow a drive-through facility
- CUP to allow outdoor dining as part of the new building
- CUP to adjust the number of parking spaces for the new building to 64 spaces
- Variance to the minimum percentage requirement for impervious surface
- Variance to add an off-premise Target sign to the existing Crystal Shopping Center sign at the southwest corner of West Broadway and Bass Lake Road

Applicants and Property Owners:

- Paster Properties, owner of Crystal Shopping Center at 6801 56th Avenue North
- Target Corporation, owner of the Target store at 5537 West Broadway

Citizens may view the proposal at Crystal City Hall during normal business hours or on the city website at www.crystalmn.gov/city_departments/land_use_applications.php. The Planning Commission staff report will be available for viewing after January 8th at the same weblink.

To discuss the proposal or submit written comments for the record, please contact Dan Olson, City of Crystal, 4141 Douglas Dr. N., Crystal, MN 55422 at dan.olson@crystalmn.gov or 763-531-1142. **To speak directly to the Planning Commission**, please attend the public hearing on Monday, January 11, 2016 at 7 p.m. at Crystal City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on January 11, 2016 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a Special Land Use Application at the Target store property (5537 West Broadway Avenue) and Crystal Shopping Center (6801 – 56th Avenue North). After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, January 19, 2016. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids for handicap persons are available upon request at least 96 hours in advance. Please call the City Clerk at 763-531-1145 to make arrangements. Deaf and Hard of Hearing callers should contact the Minnesota Relay Service at 800-627-3529 V/TTY or call 711 to be connected to a TTY.



2015 Application for Special Land Use Action

Staff contact: Dan Olson
 tel: 763-531-1142 fax: 763-531-1188
dan.olson@crystalmn.gov
 4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

PROPERTY: Address 5537 W. BROADWAY Henn. Co. P.I.D. 0511821440009

PROJECT TITLE: CRYSTAL COMMERCIAL BUILDING

APPLICANT: PASTER PROPERTIES FOR CRYSTAL SHOPPING CTR ASSOC. Tel: 651-265-7868

Email address: JK@PASTERPROP.COM Fax: _____

U.S. Mail address: 2227 UNIVERSITY AVE, ST. PAUL, MN. 55114

PROPERTY OWNER: TARGET CORPORATION ATTN: MGMT (T-0003) ^{REAL ESTATE PORTFOLIO} Tel: 612-761-1547

Email address: MARLYS.BRANDELL@TARGET.COM Fax: _____

U.S. Mail address: 1000 NICOLLET MALL, TPN-12 H, MINNEAPOLIS, MN. 55403

TYPE OF APPLICATION:
(check all that apply)

- Administrative Appeal
- Comprehensive Plan Amendment
- Conditional Use Permit
- Lot Division / Realignment of Lot Lines
- Plat
- Rezoning or Zoning Text Amendment
- Site Plan Review
- Vacation of a public street or easement
- Variance
- Planned Development
- Telecommunication Tower
- Storm Water Management Plan

APPLICATION FEE (nonrefundable)

- \$200
- \$500
- \$500
- \$500
- \$500 + \$50 per lot over 2
- \$500
- \$500
- \$500
- \$500
- \$1,000
- \$5,000
- (no fee)

REQUIRED ATTACHMENTS
(See description on page 2)

- 1 - - - - 6 -
- - - - - 6 -
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- 2 - - 3 6 7
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- 2 - - - - 6 -
- 2 - - 3 6 7
- 2 - 4 - 6 7
- 2 - 4 - 6 7

TOTAL FEE: \$ _____ ATTACHMENTS: _____

SIGNATURES: The applicant and property owner certify that

- I am making application for the described action by the City and am responsible for complying with all requirements with regard to this request. This application should be processed in my name. The City should contact me regarding any matter pertaining to this application.
- I have read and do understand the instructions supplied by the City of Crystal for processing this application, and I will keep myself informed of the deadlines for submission of material and of the progress of this application.
- The documents and information I have submitted are true and correct to the best of my knowledge.


 APPLICANT _____ 12/14/15 (date)


 for PROPERTY OWNER Marlys Brandell, S. Vice President 12-14-15 (date)

FOR OFFICE USE ONLY: Application # <u>2016-01</u>	Accounting # <u>0100.4418</u>
Acknowledgement letter sent <u>12/14/15</u>	Receipt # _____ Date Received <u>12/14/2015</u>
Plan Comm hearing _____	If application incomplete: was 60-day rule language included? _____
City Council action _____	Approved? Yes ___ No ___ Other ___
NOTES: _____	



2015 Application for Special Land Use Action

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 tel: 763-531-1142 fax: 763-531-1188
dan.olson@crystalmn.gov
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Email address: MARLYS.BRANDRELL@TARGET.COM Fax: _____

U.S. Mail address: 1000 NICOLLET MALL TPN-12H, MINNEAPOLIS, MN. 55403

PROPERTY OWNER: PASTER PROPERTIES FOR CRYSTAL SHOPPING CTR ASSOC. Tel: 651-265-7868

Email address: JK@PASTERPROP.COM Fax: _____

U.S. Mail address: 2227 UNIVERSITY AVE, ST. PAUL, MN. 55114

TYPE OF APPLICATION:
(check all that apply)

APPLICATION FEE (nonrefundable)

REQUIRED ATTACHMENTS
(See description on page 2)

<input type="checkbox"/> Administrative Appeal	\$200	1 - - - - 6 -
<input type="checkbox"/> Comprehensive Plan Amendment	\$500	- - - - - 6 -
<input type="checkbox"/> Conditional Use Permit	\$500	3 - - - - 6 -
<input type="checkbox"/> Lot Division / Realignment of Lot Lines	\$500	- - 3 - - 6 -
<input type="checkbox"/> Plat	\$500 + \$50 per lot over 2	- 2 - - - 5 6 7
<input type="checkbox"/> Rezoning or Zoning Text Amendment	\$500	- - - - - 6 -
<input type="checkbox"/> Site Plan Review	\$500	- 2 - 4 - 6 7
<input type="checkbox"/> Vacation of a public street or easement	\$500	- 2 - - - 6 -
<input checked="" type="checkbox"/> Variance	\$500	1 - - - - 6 -
<input type="checkbox"/> Planned Development	\$1,000	- 2 - - - 6 7
<input type="checkbox"/> Telecommunication Tower	\$5,000	- 2 - 4 - 6 7
<input type="checkbox"/> Storm Water Management Plan	(no fee)	- 2 - 4 - 6 7

TOTAL FEE: \$ _____ ATTACHMENTS: _____

SIGNATURES: The applicant and property owner certify that:

- I am making application for the described action by the City and am responsible for complying with all requirements with regard to this request. This application should be processed in my name. The City should contact me regarding any matter pertaining to this application.
- I have read and do understand the instructions supplied by the City of Crystal for processing this application, and I will keep myself informed of the deadlines for submission of material and of the progress of this application.
- The documents and information I have submitted are true and correct to the best of my knowledge.

Marilyn Brandrell
 for APPLICANT Marilyn Brandrell, Sr. Registrar (date) 12-14-15

[Signature]
 PROPERTY OWNER (date) 12/14/15

FOR OFFICE USE ONLY	Application # <u>2016-01</u>	Accounting # <u>0100 4418</u>	Receipt # _____	Date Received <u>12-14-2015</u>
Acknowledgement letter sent _____	If application incomplete was 60-day rule language included? _____			
Plan Comm Hearing _____	City Council action _____	Approved? Yes _____ No _____ Other _____		
NOTES: _____				

CRYSTAL COMMERCIAL BUILDING

We are proposing to redevelop the northern portion of the Crystal Target parking lot with a 4,990 square foot mixed use commercial building. The building is planned to house 2 tenants but could be configured for more if they are smaller.

We have been working with Target on this property for some time and we both feel this is an excellent site for redevelopment. This feeling was clearly noted at the Crystal Transit meeting held on September 29th to discuss the possibility of LRT coming to this area. Of the 7-8 breakout groups at this meeting 5 of these groups noted this very site as prime location for redevelopment. We were thrilled to hear our neighbors as well as other city resident's talk about this knowing we were already working on this very project.

A small project like this can often be very complicated when it comes to the actual requirements and steps that are needed to redevelop the property. We are submitting a number of applications including the following:

- Preliminary and Final Plat
- Conditional Use Permits
- Variances
- Site Plan Review

We are requesting a **Variance** to allow Target to have an off premise sign. Target's sign would be on our existing shopping center sign located at the southwest corner of Bass Lake Road and Broadway. The construction of the new proposed building would block the view of the existing Target store from the intersection. This variance would allow Target to maintain a presence at the intersection in an area where they have had a presence since Target store #3 was built back in **1962**. The proposed Target sign area would be within the area allowed by sign code for this sign. We have submitted an elevation of the proposed sign with the new Target logo for your review and comment. This variance will in no way impair or interfere with any of the current uses, properties, or public activity in or around this sign. The sign itself will change very little from what is there today. Only the graphics and space between the panels will be changed. This will also help to ensure Target's continued success within the City of Crystal.

We are requesting a **Variance** to allow us to deviate from the required amount of pervious area in a project. This project is the redevelopment of an existing parking lot that is currently 11.3% green space. The proposed redevelopment would increase the greenspace amount slightly to **13.8%**. This is still below the code required amount but certainly a step in the right direction. We are also installing a small rain garden within a parking lot island to treat a portion of the storm water runoff from the parking area. There is nothing like this onsite today. We are taking an existing area that is currently all asphalt parking and converting it to building area with perimeter green space as well as some additional site

green space and a rain garden. This variance will in not interfere with any of the adjacent uses. It will allow this property to improve the existing conditions for storm water runoff by slightly reducing the area of impervious surface and adding a rain garden area to assist in the treatment of the storm water runoff.

We are requesting a **Conditional Use Permit** to allow the new project to include outdoor space for possible patio dining and gathering. The location of the proposed outdoor patio space is noted on the site plan submitted with this project. This area would be for customers who would be served their coffee or food item inside the building and carry it out to the patio to enjoy it. Chairs and tables would be provided on the patio. It is our hope that this area will become a place to gather and meet outdoors during our warmer months of summer. This area will not include any sales or storage of material. All sales and storage would be kept within the building.

We are requesting a **Conditional Use Permit** which would allow us to deviate from the city parking standards. The project that we are proposing is a mixed use building. This building may be occupied by retail, office and or restaurant users. The Crystal Zoning Code treats the retail and office uses differently than it treats the restaurant uses when it comes to required parking. The different parking requirements are outlined below.

Building Size: Gross Building area = 4,990 square feet

Zoning Code Parking Requirements:

Retail/Office: Minimum Parking Required = 4 stalls + 1 stall per 300 square feet

Maximum Parking Required = 4 stalls + 1 stall per 250 square feet

Eating Establishment: Minimum Parking = 4 stalls + 1 stall per 80 square feet

Maximum Parking = 4 stalls + 1 stall per 50 square feet

Required Parking for the proposed Mixed Use Commercial Building:

Retail/Office: Minimum parking required = $4 + (4,990/300) = 21$ spaces

Maximum parking allowed = $4 + (4,990/250) = 24$ spaces

Eating Establishment: Minimum parking required = $4 + (4,990/80) = 66$ spaces

Maximum parking allowed = $4 + (4,990/50) = 104$ spaces

As you can see with a mixed use building the parking requirements vary greatly depending on the uses in the building. A maximum of 24 spaces for one set of uses and a minimum of 66 stalls for the other proposed use. At this time we don't know if the uses will be retail/office or restaurant or a combination of each. For this reason we are requesting a Conditional Use Permit for 64 onsite parking spaces. This number of parking stalls falls at the high end, between the retail/office maximum and the eating establishment minimum. We do not know what the initial uses or future uses may be for this project. The 64 parking spaces will satisfy the needs of all of the proposed uses now and in the future.

The proposed project will eliminate a number of parking stalls from the existing spaces available for Target. The parking on the revised Target lot will continue to meet the parking requirements as established in the zoning code. The Target building is 143,203 square feet. The code required parking for a building this size is as follows:

Minimum parking required = 4 stalls + 1 stall/300 square feet = **481** spaces

Maximum parking allowed = 4 stalls + 1 stall/250 square feet = **577** spaces

The current number of parking spaces on the revised Target parcel is 450 stalls. When these 450 stalls are combined with the existing proof of parking areas, noted on the overall plan, the total parking for the revised Target parcel is **501** spaces. This number is above the minimum required and well below the maximum allowed. The revised Target parking area will continue to meet the requirements of the Crystal parking code after the proposed project would be completed.

Lastly, we are requesting a **Conditional Use permit** for a Drive-thru facility in a C2 zoning district. The drive-thru window would be located at the north end of the proposed building. This location allows for maximum stacking space on the east side of the building. The layout was designed to keep all of the cars utilizing the drive-thru stacked on site. The menu board is also on the east side of the building and faces Broadway. Its location is noted on the site plan. It will not be a nuisance to any of the adjacent properties. Lighting for the drive-thru area will be done with wall sconces on the sides of the proposed building.

This project has been a joint effort between Paster Properties and Target Corporation. We have worked very hard to come up with a project that will enhance the retail opportunities in this area while not diminishing the existing success of the current businesses. We feel this project does this. The project

takes a parking area that is minimally used by Target and redevelops it into a small mixed use commercial building with associated parking and outdoor gathering space. It will reduce the overall number of vacant parking stalls in the area. It will decrease the area of impervious surface in this area of the existing parking lot. It will enhance the landscaping in this area. It will allow Target to maintain a presence at the intersection of Bass Lake and Broadway.

We request your support of this project so that we may continue to improve the vitality and opportunities in Crystal.

Preliminary Plans

for

Removals, Site, Grading, Drainage, Erosion Control, Utilities, and Landscape

for

Crystal Target Outlot Parcel Crystal, Minnesota

Sheet List Table	
Sheet Number	Sheet Title
1	Cover Sheet
2	Overall Existing Conditions
3	Overall Site Plan
4	Preliminary Plat
5	Existing Conditions- Removals Plan
6	Site Plan
7	Grading, Drainage, and Erosion Control Plan
8	Utility Plan
9	Details
10	Details
11	Landscape Plan

Prepared for:

Paster Properties
 2227 University Avenue
 St. Paul, Minnesota 55114
 Contact: John Kohler
 Phone: 651-646-7901
 Email: jk@pasterprop.com

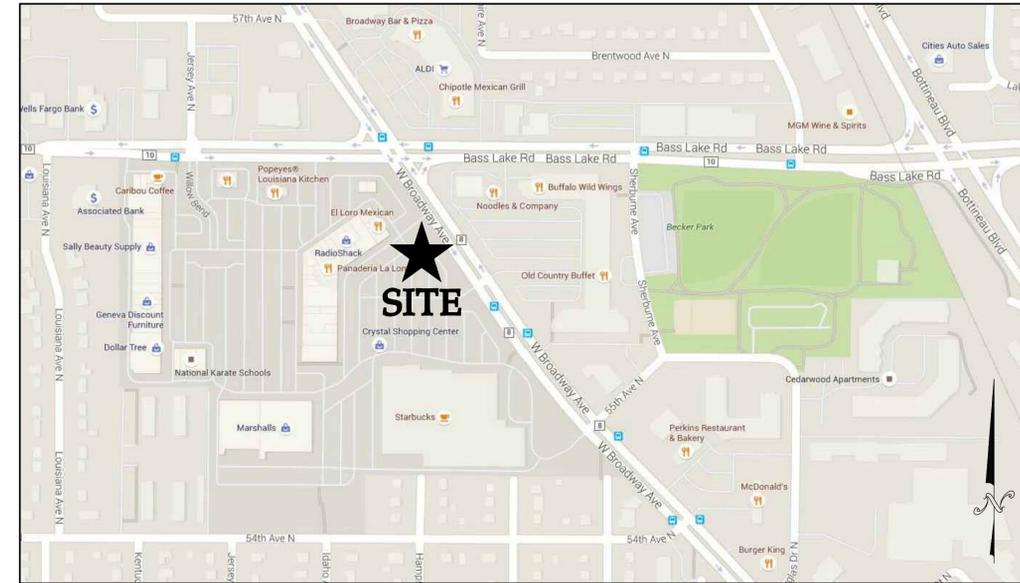
Prepared by:

Westwood

Phone (952) 937-5150 7699 Anagram Drive
 Fax (952) 937-5822 Eden Prairie, MN 55344
 Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.
 Project number: 0006484.00
 Contact: Paul D. Schroeder

Vicinity Map



(Not to Scale)



Overall Site Plan

0 150' ↑
 SCALE: 1"=150' N

Westwood

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 7699 Anagram Drive
 Eden Prairie, MN 55344
 Phone (952) 937-5150
 Fax (952) 937-5822
 Toll Free (888) 937-5150
westwoodps.com

Designed: PDS/SSA
 Checked: PDS/SSA
 Drawn: RAH/SSA
 Record Drawing by/date:

Revisions:
 0 12/14/15 CITY SUBMITTAL

Prepared for:

Paster Properties

2227 University Avenue
 St. Paul, Minnesota 55114

**Crystal Target
 Outlot Parcel**

Crystal, Minnesota

Cover Sheet

Date: 12/14/15
 Sheet: 1 OF 11

Legend

- | | | | |
|--|---------------------|--|-----------------------|
| | BUSH/SHRUB | | STORM MANHOLE |
| | CONIFEROUS TREE | | TELEPHONE BOX |
| | DECIDUOUS TREE | | TELEPHONE MANHOLE |
| | WETLAND | | TRAFFIC CONTROL BOX |
| | STEEL/WOOD POST | | HAND HOLE |
| | SIGN-TRAFFIC/OTHER | | TRAFFIC LIGHT |
| | SIGN-TRAFFIC/OTHER | | GATE VALVE |
| | MAIL BOX | | HYDRANT |
| | HANDICAPPED STALL | | WATER METER |
| | PERC TEST | | CURB STOP BOX |
| | MONITORING WELL | | WATER MANHOLE |
| | CABLE TV BOX | | WELL |
| | GAS METER | | CABLE TV |
| | STREET LITE | | GAS LINE |
| | GUY WIRE | | POWER OVERHEAD |
| | POWER POLE | | POWER UNDERGROUND |
| | ELECTRIC BOX | | SANITARY SEWER |
| | ELECTRIC METER | | STORM SEWER |
| | ELECTRIC MANHOLE | | TELEPHONE OVERHEAD |
| | ELECTRIC TOWER | | TELEPHONE UNDERGROUND |
| | SANITARY MANHOLE | | WATERMAIN |
| | SEWER CLEANOUT | | FIBER OPTIC LINE |
| | BEEHIVE CATCH BASIN | | ACCESS CONTROL |
| | CATCH BASIN | | FENCE LINE |
| | FLARED END SECTION | | DECIDUOUS TREE LINE |
| | CULVERT | | CONIFEROUS TREE LINE |
| | | | CURB & GUTTER |

- Denotes 1/2"x14" Iron Pipe marked with Plastic Cap inscribed with Lic. No. 43933, unless otherwise noted.
- Denotes Iron Monument Found as noted.
- ⊙ Denotes Cast Iron Monument

Westwood

Westwood Professional Services, Inc.
 7699 Anagram Drive
 Eden Prairie, MN 55344

Phone (952) 937-5150
 Fax (952) 937-5822
 TollFree (888) 937-5150

westwoods.com

Designed:

Checked: **MRS**

Drawn: **BTW**

Record Drawing by/date:

Revisions:

0 12/14/15 CITY SUBMITTAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL SURVEYOR under the laws of the State of Minnesota.

Mark R. Salo

Date: 12/14/15 License No.

Prepared for:

Paster Properties

2227 University Avenue
 St. Paul, Minnesota 55114

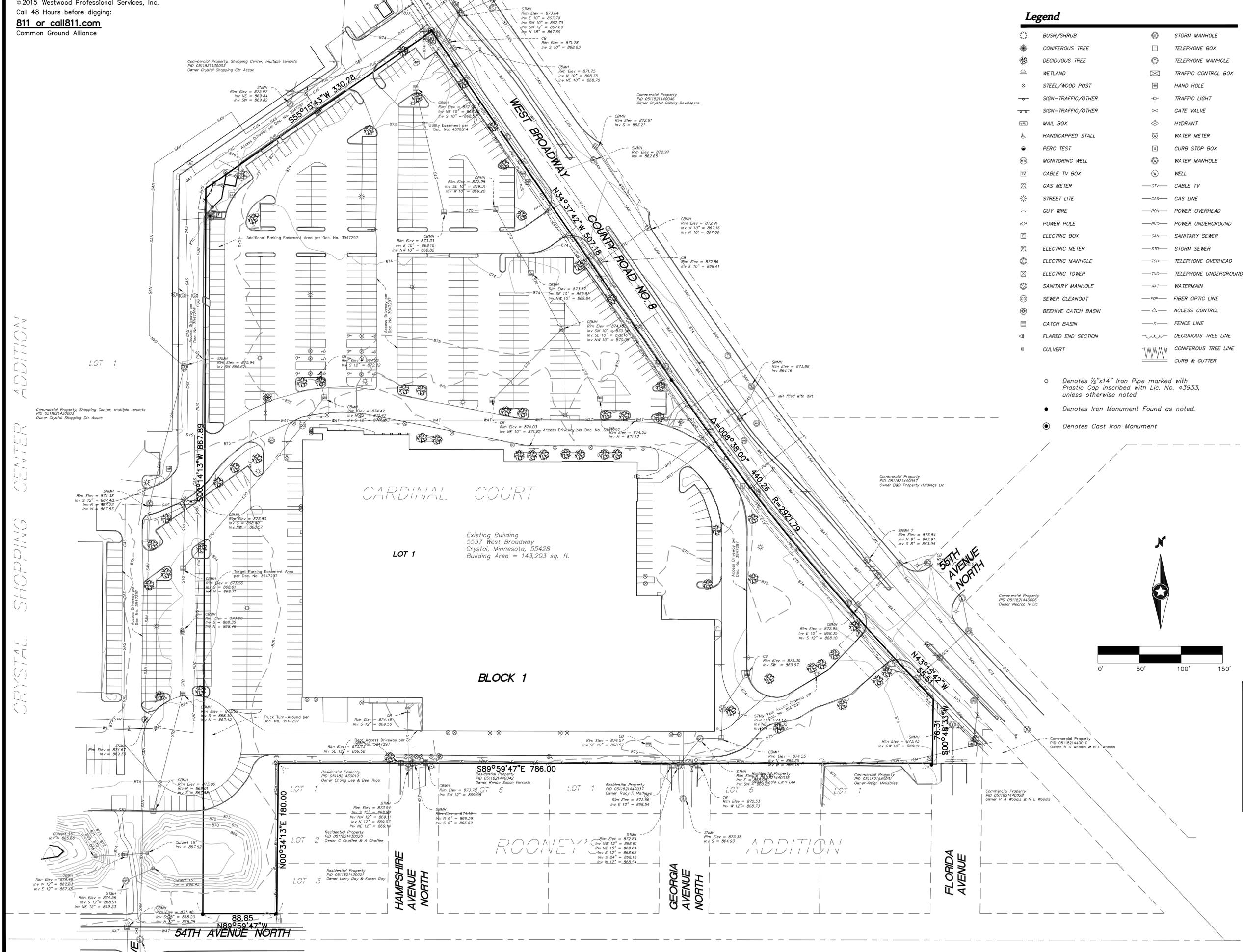
**Crystal Target
 Outlot Parcel**

Crystal, Minnesota

Overall Existing
 Conditions

Date: 12/14/15

Sheet: 2 OF 11



CRYSTAL SHOPPING CENTER ADDITION

CARDINAL COURT

Existing Building
 5537 West Broadway
 Crystal, Minnesota, 55428
 Building Area = 143,203 sq. ft.

BLOCK 1

S89°59'47"E 786.00

ROONEY'S ADDITION

HAMPSHIRE AVENUE NORTH

GEORGIA AVENUE NORTH

FLORIDA AVENUE

58TH AVENUE NORTH

54TH AVENUE NORTH

LOT 1

LOT 2

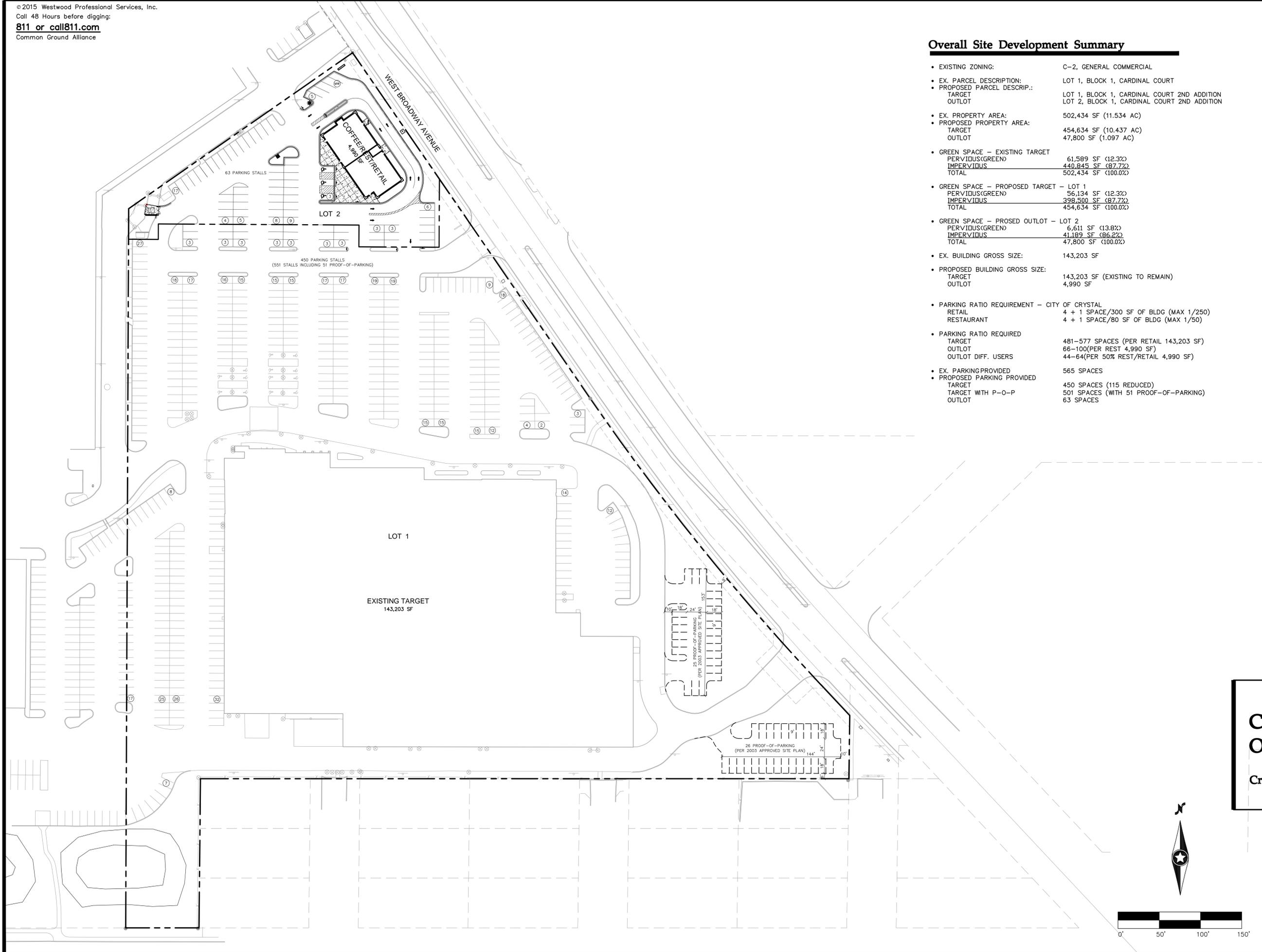
LOT 3

LOT 4

LOT 5

LOT 6





Overall Site Development Summary

• EXISTING ZONING:	C-2, GENERAL COMMERCIAL
• EX. PARCEL DESCRIPTION:	LOT 1, BLOCK 1, CARDINAL COURT
• PROPOSED PARCEL DESCRIPT.:	LOT 1, BLOCK 1, CARDINAL COURT 2ND ADDITION
TARGET OUTLOT	LOT 2, BLOCK 1, CARDINAL COURT 2ND ADDITION
• EX. PROPERTY AREA:	502,434 SF (11.534 AC)
• PROPOSED PROPERTY AREA:	
TARGET	454,634 SF (10.437 AC)
OUTLOT	47,800 SF (1.097 AC)
• GREEN SPACE – EXISTING TARGET	
PERVIOUS(GREEN)	61,589 SF (12.3%)
IMPERVIOUS	440,845 SF (87.7%)
TOTAL	502,434 SF (100.0%)
• GREEN SPACE – PROPOSED TARGET – LOT 1	
PERVIOUS(GREEN)	56,134 SF (12.3%)
IMPERVIOUS	398,500 SF (87.7%)
TOTAL	454,634 SF (100.0%)
• GREEN SPACE – PROPOSED OUTLOT – LOT 2	
PERVIOUS(GREEN)	6,611 SF (13.8%)
IMPERVIOUS	41,189 SF (86.2%)
TOTAL	47,800 SF (100.0%)
• EX. BUILDING GROSS SIZE:	143,203 SF
• PROPOSED BUILDING GROSS SIZE:	
TARGET	143,203 SF (EXISTING TO REMAIN)
OUTLOT	4,990 SF
• PARKING RATIO REQUIREMENT – CITY OF CRYSTAL	
RETAIL	4 + 1 SPACE/300 SF OF BLDG (MAX 1/250)
RESTAURANT	4 + 1 SPACE/80 SF OF BLDG (MAX 1/50)
• PARKING RATIO REQUIRED	
TARGET	481-577 SPACES (PER RETAIL 143,203 SF)
OUTLOT	66-100(PER REST 4,990 SF)
OUTLOT DIFF. USERS	44-64(PER 50% REST/RETAIL 4,990 SF)
• EX. PARKING PROVIDED	565 SPACES
• PROPOSED PARKING PROVIDED	
TARGET	450 SPACES (115 REDUCED)
TARGET WITH P-O-P	501 SPACES (WITH 51 PROOF-OF-PARKING)
OUTLOT	63 SPACES

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westwoods.com

Designed: PDS/SSA

Checked: PDS/SSA

Drawn: RAH

Record Drawing by/date:

Revisions:

0 12/14/15 CITY SUBMITTAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Shari Lynn S. Ahrens

Date: 12/14/15 License No.

Not For Construction

Prepared for:

Paster Properties

2227 University Avenue
 St. Paul, Minnesota 55114

Crystal Target Outlot Parcel

Crystal, Minnesota

Overall Site Plan

Date: 12/14/15

Sheet: 3 OF 11

Removal Notes

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

Removal Legend

EXISTING	REMOVALS	
		PROPERTY LINE
		CURB & GUTTER
		SAW CUT PAVEMENT
		SANITARY SEWER
		WATER MAIN
		HYDRANT
		STORM SEWER
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING
		TREE
		LIGHT POLE
		TRAFFIC SIGN

Westwood

Westwood Professional Services, Inc.
 7699 Anagram Drive
 Eden Prairie, MN 55344
 Phone (952) 937-5150
 Fax (952) 937-5822
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 westwoods.com

Designed: PDS/SSA
 Checked: PDS/SSA
 Drawn: RAH
 Record Drawing by/date:

Revisions:
 0 12/14/15 CITY SUBMITTAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

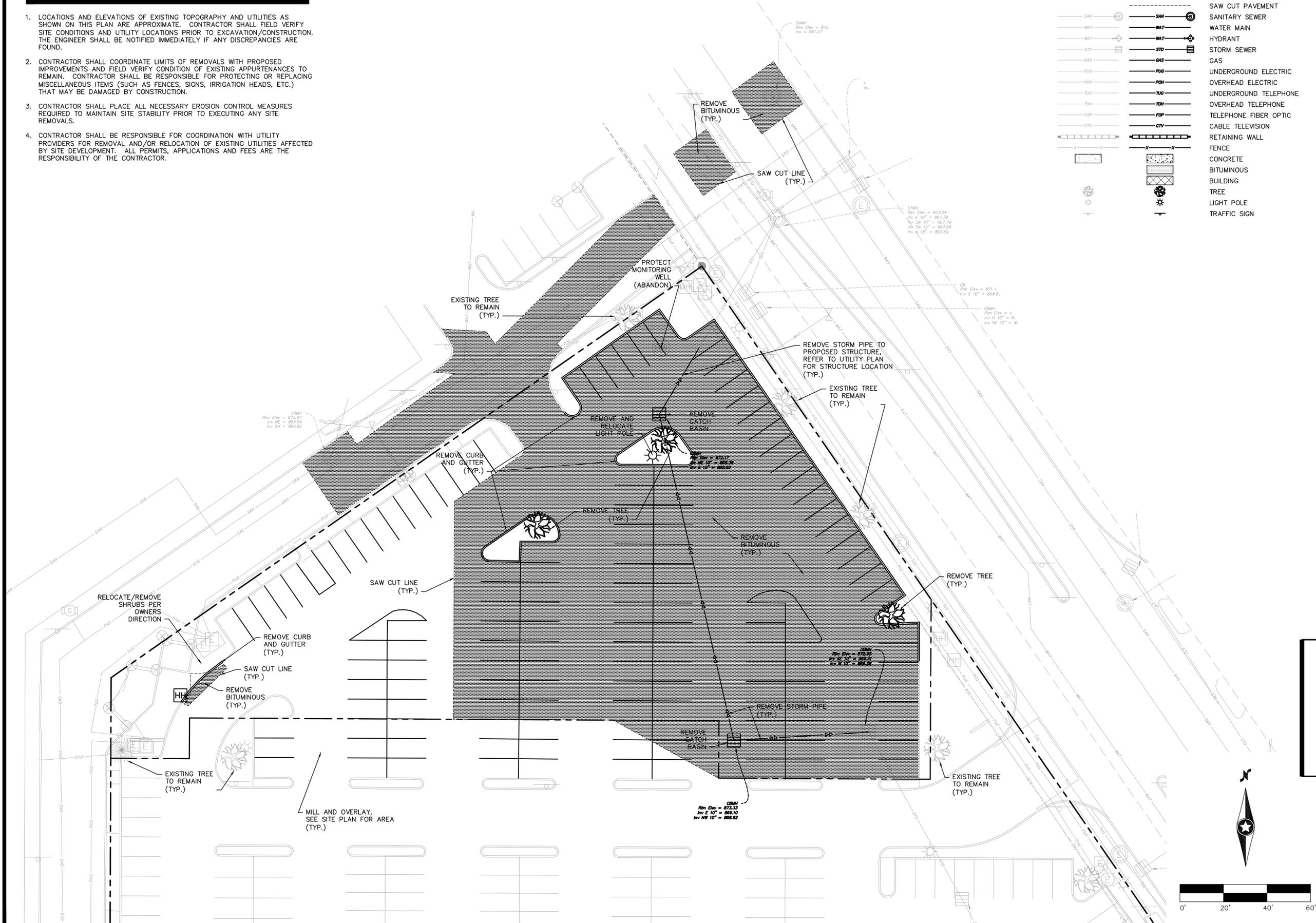
Shari Lynn S. Ahrens
 Date: 12/14/15 License No.

Prepared for:
Paster Properties
 2227 University Avenue
 St. Paul, Minnesota 55114

**Crystal Target
 Outlot Parcel**
 Crystal, Minnesota

**Existing Conditions-
 Removals Plan**

Date: 12/14/15
 Sheet: 5 OF 11



General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY ALTA/ACSM SURVEY, BY WESTWOOD PROFESSIONAL SERVICES EDEN PRAIRIE MINNESOTA, FALL 2015.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 5.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR TO MATCH EXISTING.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SEE ARCHITECTUAL PLANS FOR MORE INFORMATION ON BUILDING.
- LIGHTING TO BE DESIGN/BUILD. MODIFY EXISTING SYSTEM TO PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR LIGHTS ON TARGET PROPERTY AND OUTLOT PROPERTY. PHOTOMETRICS SHALL NOT EXCEED 1.0 FOOT CANDLES AT RIGHT-OF-WAY LINE.

Signage and Striping Notes

- PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
- ACCESSIBLE PARKING PROVIDED PER ADA CODE. CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, ACCESSIBLE LOGOS AND CROSS HATCH ACCESSIBLE LOADING AISLES WITH BLUE PAVEMENT MARKING PAINT (TWO COATS).
- ALL SIGNS SHALL INCLUDE POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
- ALL STOP SIGNS SHALL INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
- ALL SIGNS SHALL BE BE PLACED 18" BEHIND THE BACK OF CURB UNLESS OTHERWISE NOTED.

Sign Legend

REFERENCE	SIZE	MNDOT DESIGNATION
S.1 DO NOT ENTER	30" X 30"	R5-1
S.2 HANDICAP PARKING	12" X 18"	R7
S.3 DRIVE-THRU - RIGHT ARROW	12" X 18"	CUSTOM
S.4 DRIVE-THRU - STRAIGHT ARROW	12" X 18"	CUSTOM

Site Details

- B612 CURB & GUTTER (TYP.)
- ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE (TYP.)
- TRAFFIC ARROW (TYP.)
- BOLLARD (TYP.)
- BITUMINOUS PAVEMENT - MATCH EXISTING (TYP.)
- CONCRETE SIDEWALK (TYP.)
- SURMOUNTABLE CURB (TYP.)
- 3' CURB CUT WITH RIP-RAP SWALE

Site Notes

- A TRASH ENCLOSURE (SEE ARCHITECTURE)
- B MONUMENT SIGN (SEE ARCHITECTURE)
- C EXISTING TARGET SIGN
- D MATCH EXISTING CURB & GUTTER (TYP.)
- E SAWCUT & MATCH INTO EXISTING BITUMINOUS (TYP.)
- F CONCRETE SCORE PATTERN (TYP.)
- G PLANTED AREA (TYP.)
- H TRANSFORMER PAD (APPROXIMATE LOCATION)
- I RELOCATED LIGHT
- J EXISTING PARKING LOT LIGHT (TYP.)
- K EXISTING SIDEWALK (TYP.)
- L MENU BOARD
- M 4" WHITE STRIPE (TYP.)
- N NO PARKING HATCH (TYP.)

Site Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	STANDARD DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

Site Development Summary

- EXISTING ZONING: C-2, GENERAL COMMERCIAL
- PARCEL DESCRIPTION: LOT 2, BLOCK 1, CARDINAL COURT 2ND ADDITION
- PROPERTY AREA: 47,800 SF (1.097 AC)
- PERVIOUS SURFACE: 6,611 SF (13.8%)
- IMPERVIOUS SURFACE: 41,189 SF (86.2%)
- BUILDING GROSS SIZE: 4,990 SF
 - COFFEE: 2,495 SF
 - RETAIL/RESTAURANT: 2,495 SF
- FLOOR-AREA-RATIO(FAR): 0.105
- BUILDING SETBACK PER CODE: 30'=FRONT / 10'=SIDE / 30'=SIDE TO ROW / 10'=REAR
- PARKING SETBACK: 5'=LOT LINE
- PARKING SPACE/DRIVE AISLE: 9' WIDE X 18' LONG, 24' AISLE
- PARKING RATIO REQUIREMENT - RETAIL RESTAURANT: CITY OF CRYSTAL 4 + 1 SPACE/300 SF OF BLDG (MAX 1/250) 4 + 1 SPACE/80 SF OF BLDG (MAX 1/50)
- PARKING RATIO REQUIRED OUTLOT: 66-100(PER REST 4,990 SF) / 44-64(PER 50% REST/RETAIL 4,990 SF)
- OUTLOT DIFF. USERS: 63 SPACES (12.6/1000SF)
- PARKING PROVIDED: 63 SPACES (12.6/1000SF)

Westwood

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Designed: PDS/SSA

Checked: PDS/SSA

Drawn: RAH

Record Drawing by/date:

Revisions:

0 12/14/15 CITY SUBMITTAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Shari Lynn S. Ahrens

Date: 12/14/15 License No.:

Prepared for:

Paster Properties

2227 University Avenue
 St. Paul, Minnesota 55114

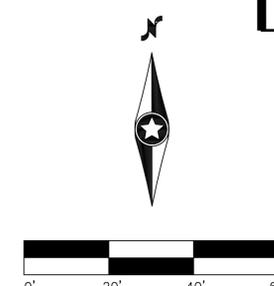
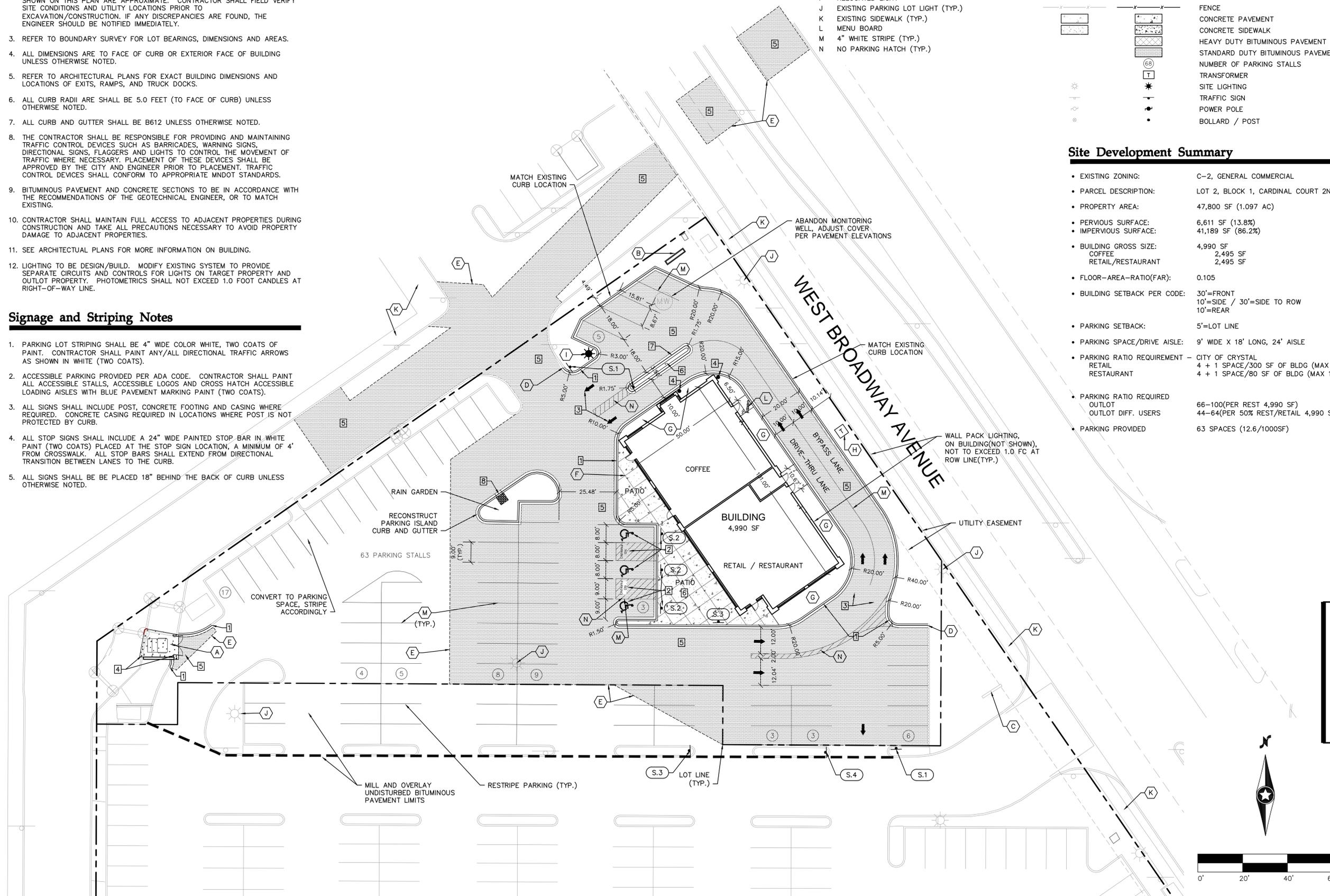
**Crystal Target
 Outlot Parcel**

Crystal, Minnesota

Site Plan

Date: 12/14/15

Sheet: 6 OF 11



Erosion Control Notes

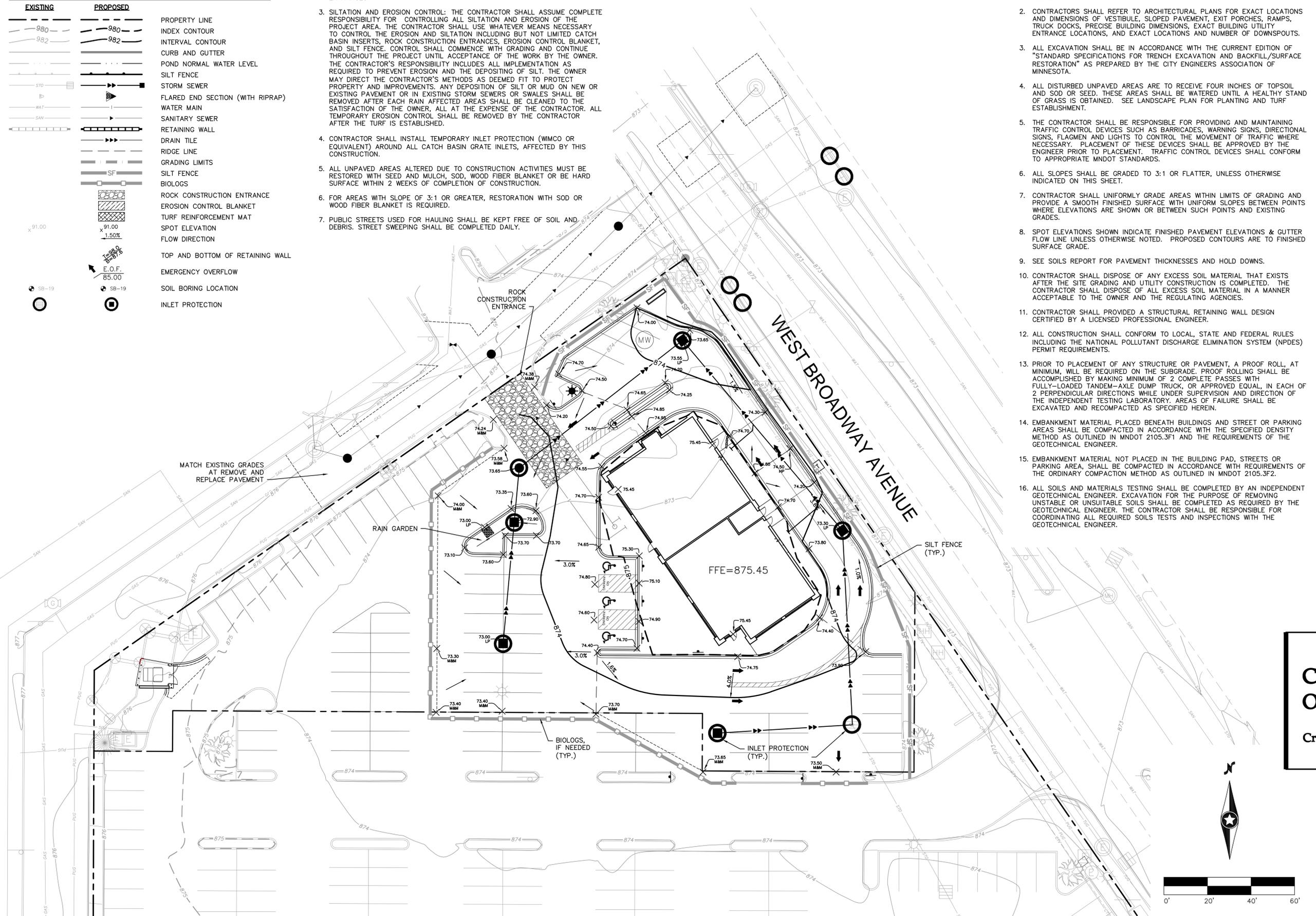
- SILT FENCE WILL BE INSTALLED AROUND SITE IN ALL FILL AREAS AND LOCATIONS WHERE STORM WATER RUNOFF MAY LEAVE THE SITE, PRIOR TO ANY EXCAVATION/CONSTRUCTION ACTIVITIES.
- ROCK CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
- SILTATION AND EROSION CONTROL: THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO CATCH BASIN INSERTS, ROCK CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- CONTRACTOR SHALL INSTALL TEMPORARY INLET PROTECTION (WMCO OR EQUIVALENT) AROUND ALL CATCH BASIN GRATE INLETS, AFFECTED BY THIS CONSTRUCTION.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, WOOD FIBER BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR WOOD FIBER BLANKET IS REQUIRED.
- PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE COMPLETED DAILY.

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDED A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Grading Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	INDEX CONTOUR
---	---	INTERVAL CONTOUR
---	---	CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	SILT FENCE
---	---	STORM SEWER
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	WATER MAIN
---	---	SANITARY SEWER
---	---	RETAINING WALL
---	---	DRAIN TILE
---	---	RIDGE LINE
---	---	GRADING LIMITS
---	---	SILT FENCE
---	---	BIOLOGS
---	---	ROCK CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL BLANKET
---	---	TURF REINFORCEMENT MAT
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	TOP AND BOTTOM OF RETAINING WALL
---	---	EMERGENCY OVERFLOW
---	---	SOIL BORING LOCATION
---	---	INLET PROTECTION



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Designed: SSA
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 Drawn: RAH/SSA
 Record Drawing by/date:

Revisions:
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Shari Lynn S. Ahrens
 Date: 12/14/15 License No.:

Prepared for:
Paster Properties
 2227 University Avenue
 St. Paul, Minnesota 55114

Crystal Target Outlot Parcel
 Crystal, Minnesota

Grading, Drainage, and Erosion Control Plan

Date: 12/14/15
 Sheet: 7 OF 11

Utility Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE
---	---	VERTICAL UTILITY SEPARATION

General Utility Notes

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN INSTALLATIONS SHALL BE PER MINNESOTA PLUMBING CODE AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
5. ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
8. PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
9. A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
10. UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
11. ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
12. ALL WATER LINES SHALL BE DUCTILE IRON WRAPPED IN POLYETHYLENE, CLASS 52 WITH 7.5' MINIMUM COVER. PROVIDE MINIMUM SEPARATION OF 18" FROM SANITARY SEWER & STORM SEWER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER.
13. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
14. SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS, PIPE SHALL BE PVC SCHEDULE 40.
15. STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS, OR HDPE STORM SEWER PIPE IF ALLOWED BY THE CITY. HDPE STORM PIPE SHALL MEET REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. PVC STORM SEWER PIPE SHALL BE SCHEDULE 40 PIPE. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS & RIP-RAP.
16. POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
17. AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.

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Designed: SSA

Checked: SSA

Drawn: RAH/SSA

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Date: 12/14/15 License No.:

Prepared for:

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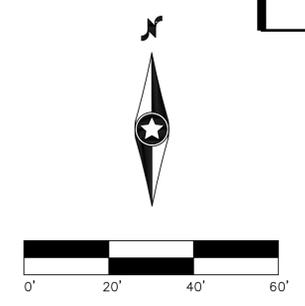
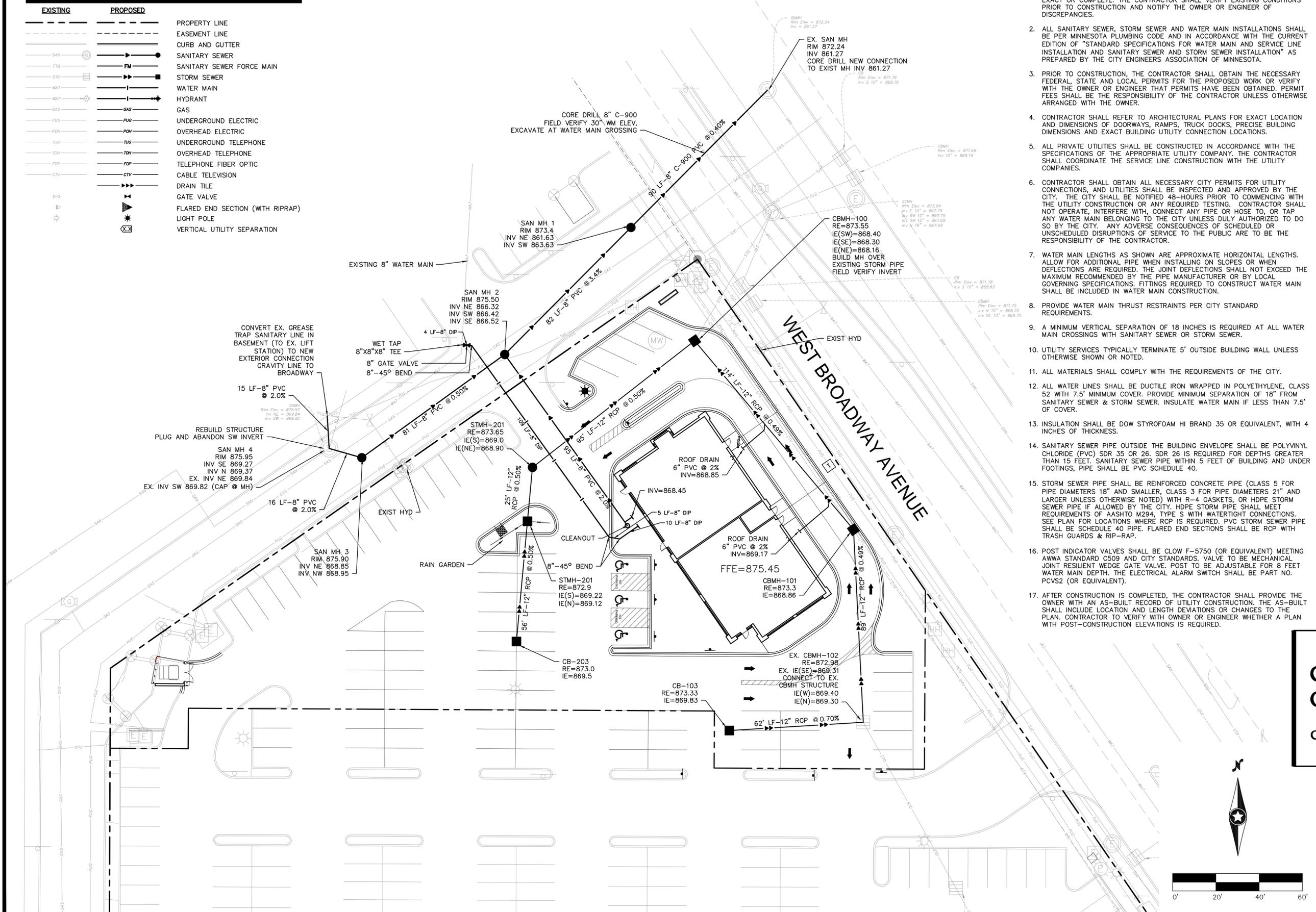
Crystal Target Outlot Parcel

Crystal, Minnesota

Utility Plan

Date: 12/14/15

Sheet: 8 OF 11



Landscape Notes

- VERIFY ALL LANDSCAPE IMPROVEMENTS WITH REMOVALS AND SITE WORK.
- ALL DISTURBED LANDSCAPED AREAS, NOT INDICATED AS PLANTING BEDS, ARE TO BE SEEDED, UNLESS NOTED OTHERWISE. SEEDING TO BE PER MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2000 EDITION AND PER 2007 SEEDING MANUAL. SOD IS TO BE PRIMARILY KENTUCKY BLUEGRASS, FREE OF LAWN GRASS WEEDS. MATCH INTO EXISTING, AS APPLICABLE. ANCHOR SOD ON SLOPED OR POTENTIAL EROSION AREAS, OR AS REQUIRED.
- CONTRACTOR TO VERIFY PLANTS REQUIRED AS REFLECTED ON PLAN, NOTIFY LANDSCAPE ARCHITECT IF PLAN AND SCHEDULE DO NOT MATCH. ALL PLANT MATERIAL TO ADHERE TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST VERSION. ADD FERTILIZER, HERBACIDE, AND PESTICIDE AS NECESSARY FOR OPTIMUM GROWTH.
- PROVIDE A MINIMUM OF 4" TOPSOIL IN LAWN AREAS AND 12" TOPSOIL IN LANDSCAPE BEDS. ADD SOIL AMENDMENTS FOR OPTIMUM PLANT GROWTH. ALL PARKING ISLAND GRADES SHALL HAVE A SIGNIFICANT CROWN.
- ALL PLANTING BEDS TO BE EDGED WITH COMMERCIAL GRADE VINYL EDGING, "EDG-KING" BY OLY-OLA, OR APPROVED EQUAL, ANCHORED 4" O.C. WITH METAL SPIKES.
- SHREDDED HARDWOOD MULCH SHALL BE COLORED, RED CANYON BY SYLVA, OR APPROVED EQUAL, AND AT A MINIMUM 4" DEPTH, FREE OF ALL DELETERIOUS MATERIAL. ROCK MULCH TO MATCH EXISTING, AND AT A MINIMUM 3" DEPTH. ROCK MULCH TO BE ON COMMERCIAL GRADE LANDSCAPE FILTER FABRIC, WITH 4" OVERLAP AND ANCHORED. OWNER TO APPROVE OF MULCH.
- SINGLE TREE AND SHRUB PLANTINGS SHALL HAVE A 4" DEPTH SHREDDED HARDWOOD MULCH RING AROUND EACH BASE. DECIDUOUS PLANT MATERIAL SHALL HAVE A MINIMUM 3" DIAMETER RING, EVERGREEN PLANT MATERIAL SHALL HAVE A RING TO THE DRIP LINE.
- EXISTING TREES AND SHRUBS, THROUGHOUT THE PROPERTY, SHALL BE PRUNED TO REMOVE DEAD OR UNDESIRABLE LIMBS AND TO SHAPE PLANT FOR DESIRABLE APPEARANCE AND COMPLETED BY A QUALIFIED INDIVIDUAL. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION AND DISPOSE OF ALL REMOVALS OFF-SITE PER PROJECT IMPROVEMENTS.
- CONTRACTOR TO WATER PLANT MATERIAL DURING INSTALLATION AND DURING ESTABLISHMENT PERIOD. VOLUME OF WATER TO BE PER PLANT REQUIREMENT FOR ESTABLISHMENT AND NORMAL GROWTH.
- CONTRACTOR TO WARRANT NEW PLANT MATERIAL FOR ONE-YEAR UPON PROJECT COMPLETION AND OWNER'S ACCEPTANCE.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. PROVIDE NEW SYSTEM, OR MODIFY EXISTING IRRIGATION PER OWNERS DIRECTION. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR.
- LANDSCAPE REQUIREMENTS FOR INDIVIDUAL LOTS TO BE ADDRESSED AT BUILDING DEVELOPMENT.

Plant Schedule - Rain Garden

CODE	QTY	COMMON/BOTANICAL NAME	SIZE	LOCATION	SPACING O.C.	REMARKS
SJP	11	SWEET JOE-PYE-WEED / EUPATORIUM PURPUREUM	PLUG	SIDESLOPE	24" O.C.	HEIGHT: 5-7'
SWG	11	SWITCHGRASS / PANICUM VIRGATUM	PLUG	SIDESLOPE	24" O.C.	HEIGHT: 4-6'
GCN	11	GOLDSTRUM CONEFLOWER / RUDBECKIA FULGIDA	PLUG	SIDESLOPE	18" O.C.	HEIGHT: 2-3'
POA	11	PRAIRIE ONION / ALLIUM STELLATUM	PLUG	SIDESLOPE	18" O.C.	HEIGHT: 1-1.5'
KFG	11	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	PLUG	BASE/SIDE	18" O.C.	HEIGHT: 3'
BES	10	BROWN-EYED-SUSAN / RUDBECKIA SUBTOMENTOSA	PLUG	BASE/SIDE	18" O.C.	HEIGHT: 3-5'
PBS	10	PRAIRIE BLAZING STAR / LIATRIS PYNOSTACHYA	PLUG	BASE/SIDE	18" O.C.	HEIGHT: 4-6'
NEA	10	NEW ENGLAND ASTER / SYMPHYTRICHUM NOVAE-ANGLIAE	PLUG	BASE	18" O.C.	HEIGHT: 3-6'
JPW	10	JOE-PYE-WEED / EUPATORIUM MACULATUM	PLUG	BASE	18" O.C.	HEIGHT: 4-6'
BFI	10	BLUE FLAG IRIS / IRIS VERSICOLOR	PLUG	BASE	18" O.C.	HEIGHT: 2-2.5'

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

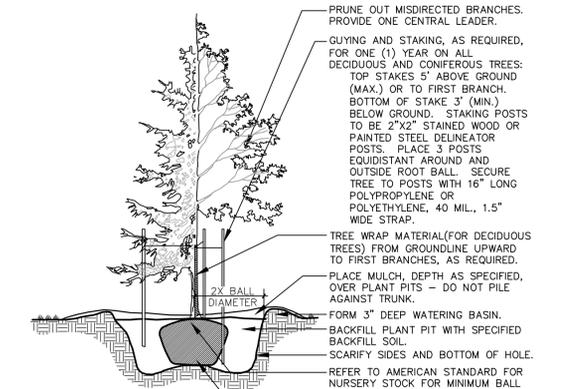
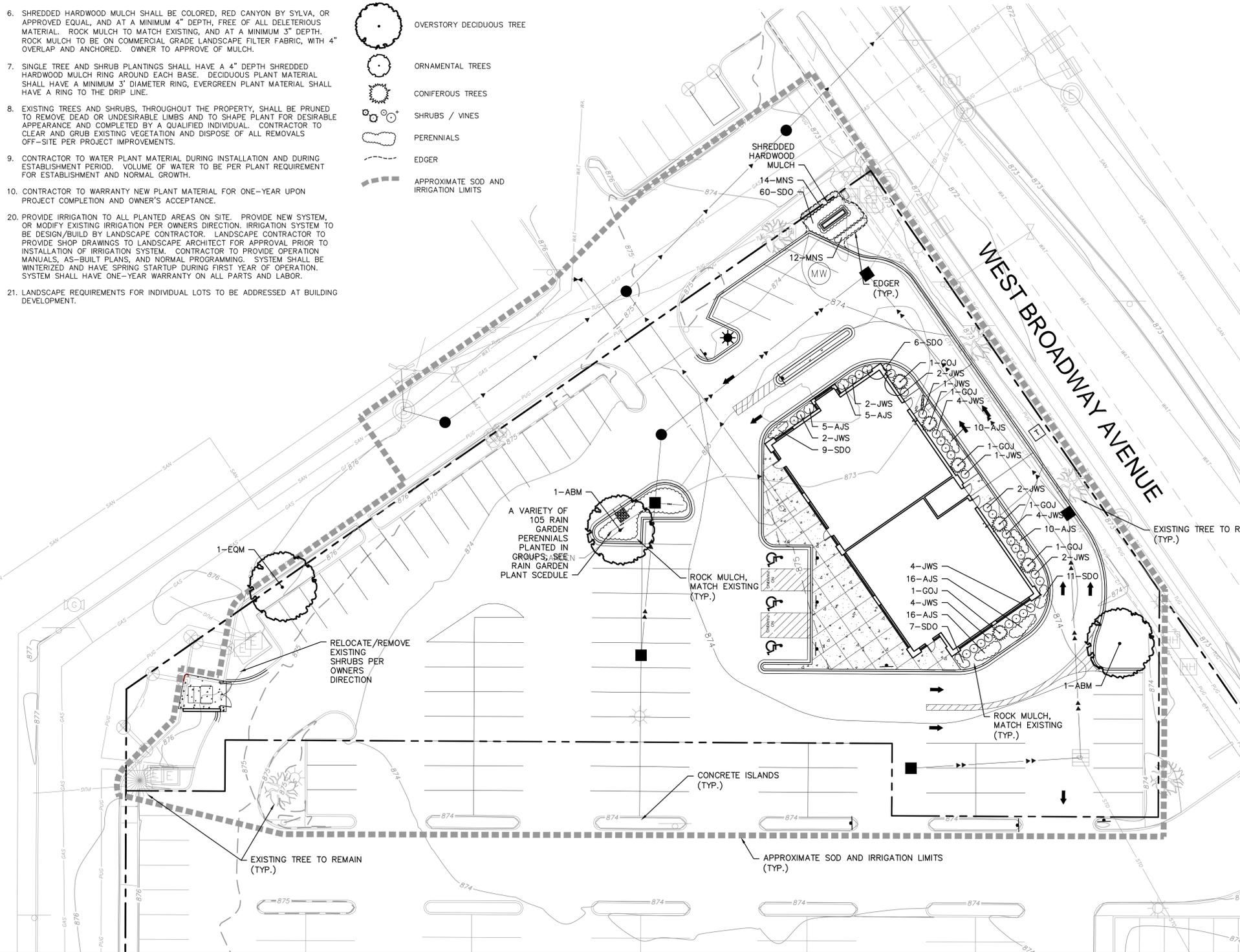
Plant Legend

- OVERSTORY DECIDUOUS TREE
- ORNAMENTAL TREES
- CONIFEROUS TREES
- SHRUBS / VINES
- PERENNIALS
- EDGER
- APPROXIMATE SOD AND IRRIGATION LIMITS

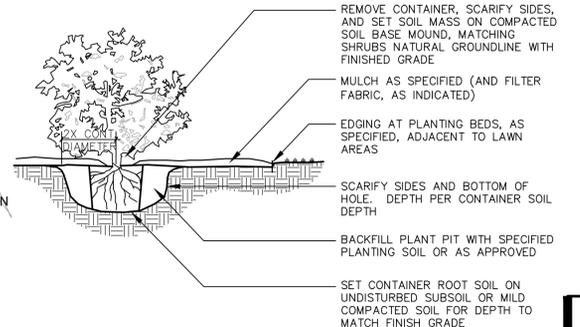
Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING
OVERSTORY TREE 3				
ABM	2	AUTUMN BLAZE MAPLE / ACER X FREEMANII 'JEFFERS RED'	2.5" CAL., B&B	AS SHOWN
EQM	1	EMERALD QUEEN NORWAY MAPLE / ACER PLATANOIDES 'EMERALD QUEEN'	2.5" CAL., B&B	AS SHOWN
CONIFEROUS SHRUB 6				
GOJ	6	GREY OWL JUNIPER / JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT.	4'-0" O.C.
DECIDUOUS SHRUB 28				
JWS	28	JAPANESE WHITE SPIREA / SPIRAEA ALBIFLORA	#5 CONT.	3'-0" O.C.
PERENNIALS 181				
SDO	93	STELLA DE ORO DAYLILY / HEMEROCALLIS 'STELLA DE ORO'	#1 CONT.	12" O.C.
AJS	62	AUTUMN JOY SEDUM / SEDUM X 'AUTUMN JOY'	#1 CONT.	18" O.C.
MNS	26	MAY NIGHT SALVIA / SALVIA X NEMOROSA 'MAY NIGHT'	#1 CONT.	18" O.C.

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER O.C. = ON CENTER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.



1 Tree Planting Detail
 C11.0 NOT TO SCALE



2 Shrub & Perennial Planting Detail
 C11.0 NOT TO SCALE



Westwood

Westwood Professional Services, Inc.
 7699 Anagram Drive
 Eden Prairie, MN 55344

Phone (952) 937-6150
 Fax (952) 937-6822
 TollFree (888) 937-6150

westwoods.com

Designed: PDS/RAH
 Checked: PDS
 Drawn: RAH
 Record Drawing by/date:

Revisions:
 0 12/14/15 CITY SUBMITTAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Shari Lynn S. Ahrens
 Date: 12/14/15 License No.:

Prepared for:
Paster Properties
 2227 University Avenue
 St. Paul, Minnesota 55114

Crystal Target Outlot Parcel
 Crystal, Minnesota

Landscape Plan

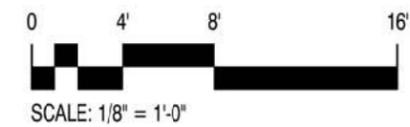
Date: 12/14/15
 Sheet: 11 OF 11



WEST ELEVATION

OUTLOT RETAIL BUILDING
CRYSTAL CENTER

12/14/15



Studio 55 Architects, LLP
10700 Highway 55, suite 275
Plymouth, MN 55441
763.544.8370
studio55architects.com

Sign Specifications:

**RETROFIT Existing Pylon Sign
with NEW Top Tenant Panel Cabinet Sign**

**Internally Illuminated (LED)
Double Faced Pylon Sign
with Polycarbonate Faces**

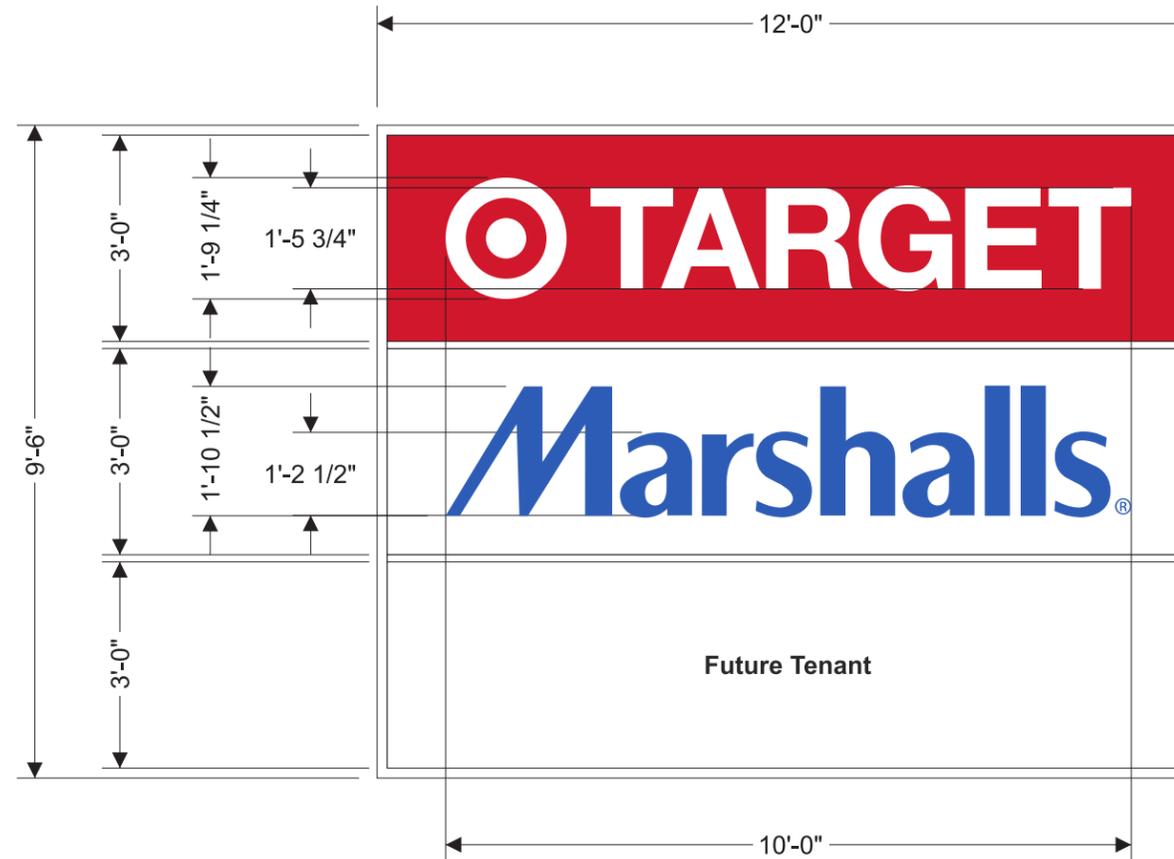
Fabricated aluminum frame

Retainers, T-Bars and Returns:
(white)

Faces:
Translucent white flat polycarbonate faces
with applied vinyl overlay

Structure:
Existing Structure with Concrete Footing

SCALE: 3/8" = 1'-0"



Sign Area: 150 sq. ft.

CUSTOMER INFORMATION

Customer: **Crystal Shopping Center**

Address: **Crystal, MN**

Sales: **Bob Sherlock**

DRAWING INFORMATION

File Name: **Crystal Shopping Center pylon sign REV B 12-10-15**

Date: **REV A 12-9-15**

Revisions: **REV B 12-10-15**

Scale: 3/8" = 1'-0" at 11" x 17"

Page: 1 of 2

Designer: **Jeff Weispfenning**

Customer/
LL Approval:



SignArt Company

Eau Claire, WI
715-834-5127
800-235-5178

St. Paul, MN
651-688-0563
800-699-0563

www.signartusa.com



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Photograph with Sign Location

Existing Condition



INSTALLATION INSTRUCTIONS:
 REMOVE Top Portion of Pylon Sign Structure.
 INSTALL NEW Tenant Panel Cabinet Sign onto pylon as shown.

Proposed New Sign - Scale: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"

CUSTOMER INFORMATION

Customer: **Crystal Shopping Center**

Address: **Crystal, MN**

Sales: **Bob Sherlock**

DRAWING INFORMATION

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Page: **2 of 2**

Designer: **Jeff Weispfenning**

Customer/
 LL Approval:



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