

**CITY OF CRYSTAL
ECONOMIC DEVELOPMENT AUTHORITY**

**PROPOSED SALE OF LOT FOR NEW HOME CONSTRUCTION
5607 ZANE AVENUE NORTH**

**PUBLIC HEARING NOTICE
FOLLOWING THE 7:00 P.M. CITY COUNCIL MEETING
TUESDAY, MARCH 6, 2018
CRYSTAL CITY HALL (4141 DOUGLAS DR N)**

The city's Economic Development Authority (EDA) is considering the sale of a vacant lot for construction of a new single family home:

**Address: 5607 Zane Ave N
Lot Price: \$55,000
Builder: Novak-Fleck**

The EDA public hearing for the sale of this property follows the City Council meeting on Tuesday, March 6 at 7:00 p.m. at Crystal City Hall.

Citizens may also:

- View the proposed house plans at Crystal City Hall during normal business hours or on the city website at www.crystalmn.gov/public_hearing_notices.php
- View the EDA staff report available after 1 p.m. on Friday, March 1 at City Hall during normal business hours or on the city website at www.crystalmn.gov/city_government/EDA.php

To discuss the sale with city staff, please contact Dan Olson at 763.531.1142 or dan.olson@crystalmn.gov.

To submit written comments for the record, please send them to Dan Olson, City of Crystal, 4141 Douglas Dr. N., Crystal, MN 55422 or email dan.olson@crystalmn.gov.

To speak directly to the EDA, please attend the EDA public hearing on Tuesday, March 6 following the City Council meeting at 7:00 p.m. at Crystal City Hall.

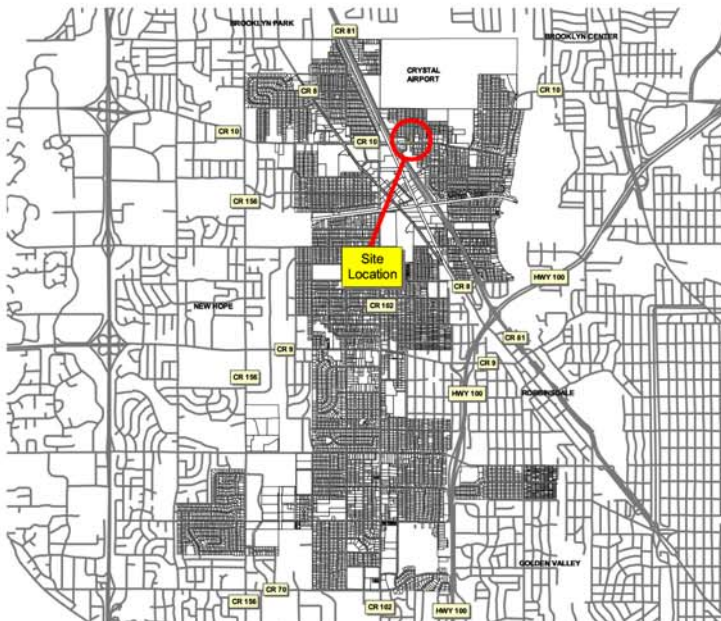
LEGAL NOTICE: Notice is hereby given that the Economic Development Authority of the City of Crystal ("the EDA") will meet on March 6, 2018, immediately following the regularly scheduled 7:00 p.m. City Council meeting, or as soon thereafter as the matter may be heard, at Crystal City Hall, 4141 Douglas Drive North, in said city, to consider the sale of 5607 Zane Avenue North. After holding the public hearing, the EDA will consider adoption of a resolution authorizing the sale of the property. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids for handicap persons are available upon request at least 96 hours in advance. Please call the City Clerk at 763-531-1145 to make arrangements. Deaf and Hard of Hearing callers should contact the Minnesota Relay Service at 800-627-3529 V/TTY or call 711 to be connected to a TTY.

Site Location



0 100 200 300 400 500 Feet

5607 Zane Ave. N.



CITY of CRYSTAL

City of Crystal
4141 Douglas Drive N.
Crystal, MN 55422



1 Mile

Aerial Image Hennepin County 2015

HY-LAND SURVEYING, P.A.

LAND SURVEYORS

11947 Idaho Ave. N.
 Champlin, Minnesota 55316
 PHONE (763) 323-1300
 FAX (763) 323-7035
 hylandsurvey@qwestoffice.net

INVOICE NO. 34327
 F.B. NO. _____
 SCALE 1" = 20'

000 Proposed Top of Block
000 Proposed Garage Floor
000 Proposed Lowest Floor

Type of Building -
000

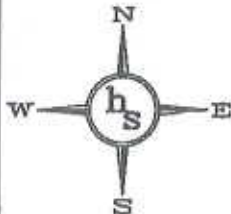
Surveyors Certificate

NOTE: PROPERTY CORNERS
 SET BY DEVELOPERS SURVEYOR

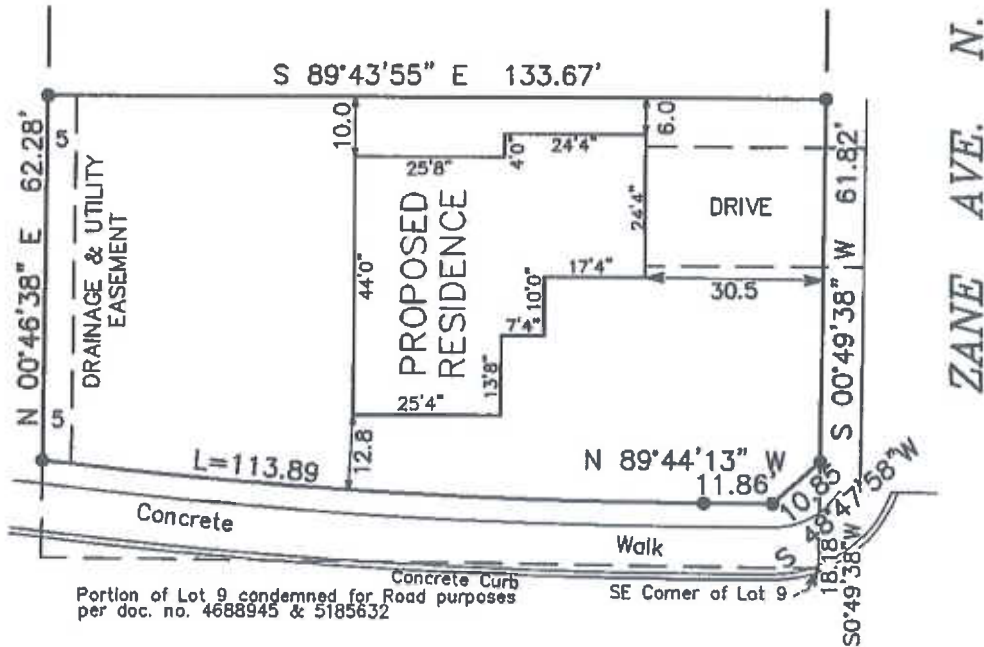
SKETCH

- Denotes Iron Monument Found
- Denotes Iron Monument Set
- Denotes Wood Hub Set For Excavation Only
- x000.0 Denotes Existing Elevation
- Denotes Proposed Elevation
- ← Denotes Surface Drainage
- ☒ Denotes Telephone Box
- Ⓣ Denotes TV Box
- ⊕ Denotes Water Service

Property Located In Part Of
 Sec. 4, Twp. 118, R. 21.



NOVAK FLECK



56TH AVENUE N.
 (County Road No. 10)

Lot 9, Block 2, Kennard's Second Addition, Hennepin County, Minnesota
 Legal description and information regarding Road condemnation per Title
 Commitment from Home Title, Inc., File 031703616 dated March 30, 2017.

This survey is certified only to the above named person or persons
 and not to subsequent owners, mortgages or title insurers.
 The only easements shown are from plats of record of information provided by client.
 All building dimensions and floor elevations must be verified by client.

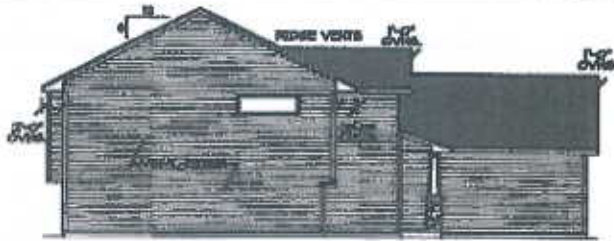
I hereby certify that this survey was prepared by me or under
 my direct supervision, and that I am a duly Registered Land
 Surveyor under the laws of the State of Minnesota.

Surveyed by us this 16TH day of JANUARY, 2018

Signed

Milton E. Hyland

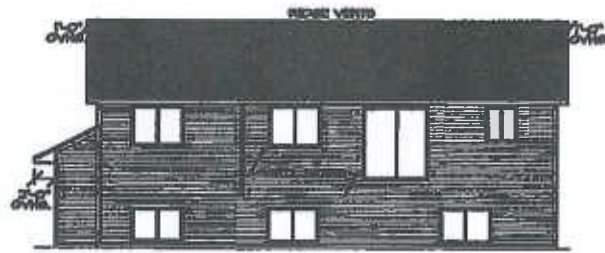
Milton E. Hyland, Minn. Reg. No. 20262



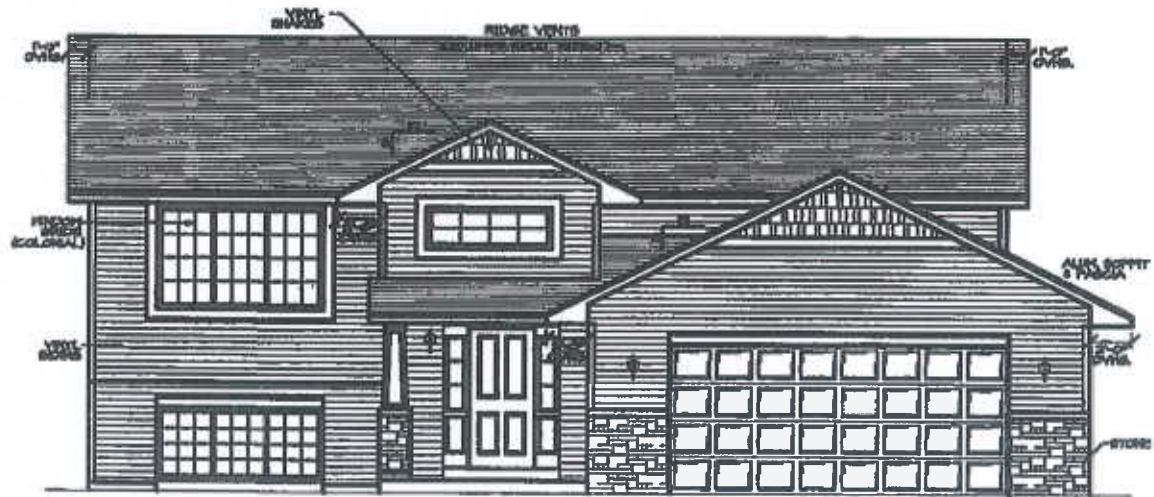
LEFT ELEVATION
SCALE 1/4"=1'-0"



RIGHT ELEVATION
SCALE 1/4"=1'-0"



REAR ELEVATION
SCALE 1/4"=1'-0"



FRONT ELEVATION
SCALE 1/4"=1'-0"



NOTES
 -ALL DIMENSIONS INDICATED, UNLESS NOTED OTHERWISE, SHALL BE TO FACE UNLESS INDICATED OTHERWISE.
 -ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.
 -ALL MATERIALS, SPECIFICATIONS AND APPROXIMATE QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR FROM GOOD PRACTICE.
 -ALL DIMENSIONS INDICATED ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
 -CHECK ALL DIMENSIONS BEFORE PROCEEDING.

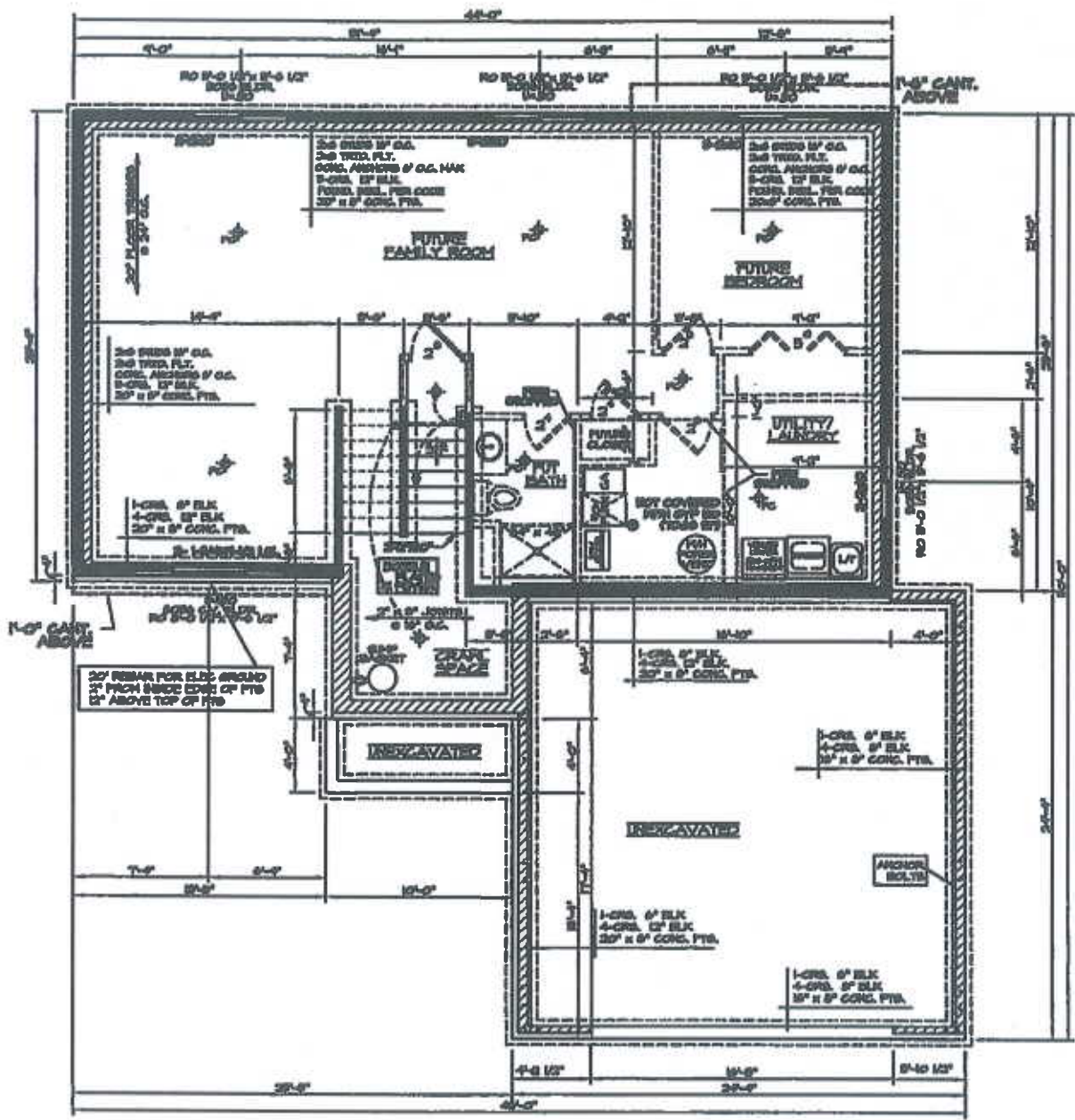
WINDOW SCHEDULE

WOODRIDGE

FIRST FLOOR - 28041

SECOND FLOOR - 28044

LOWER LEVEL - 28044



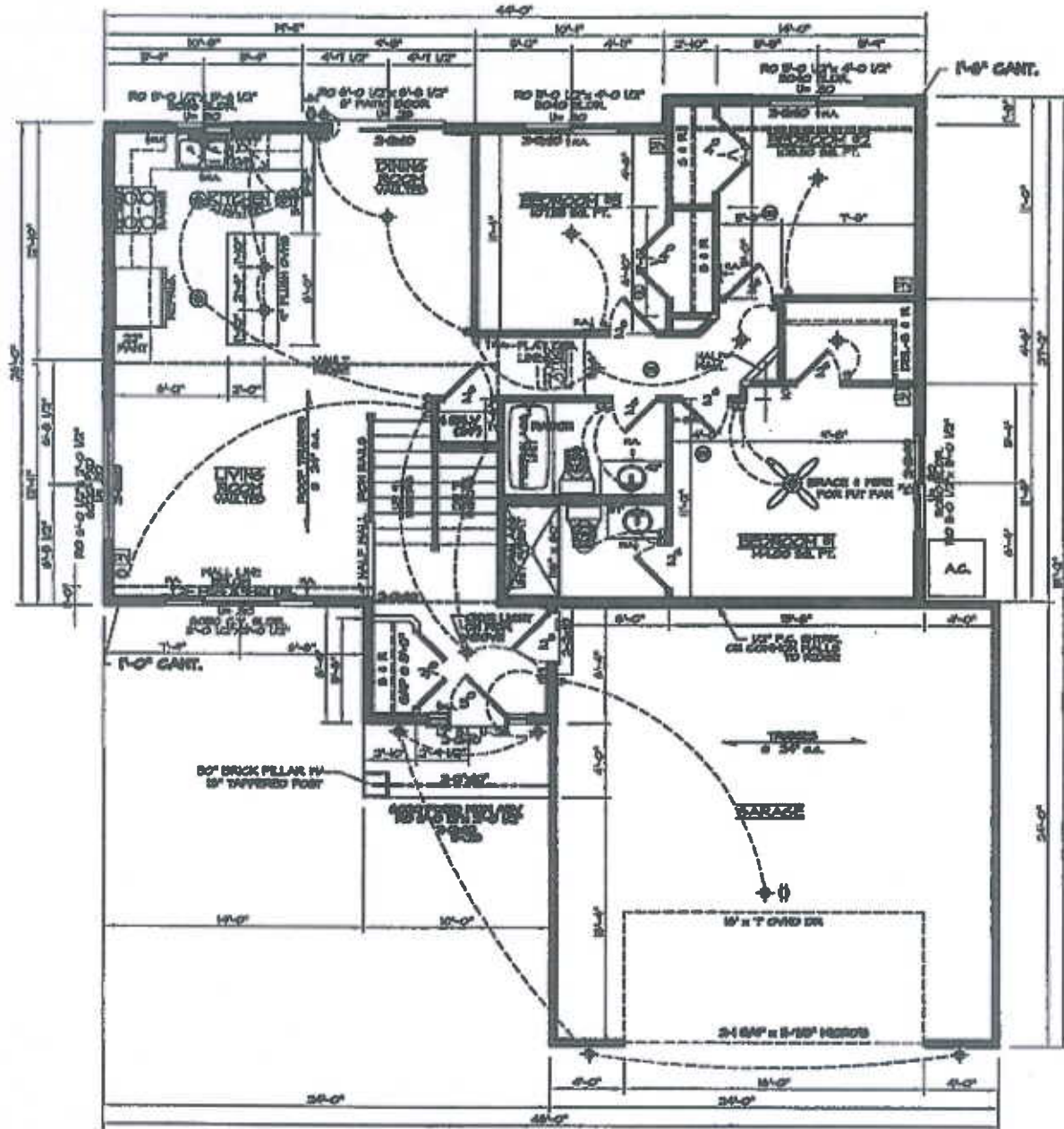
LOWER LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"



NOTE:
 THIS IS A PRELIMINARY ARCHITECTURAL DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY. ALL MATERIALS, METHODS AND APPROXIMATE COSTS ARE FOR INFORMATION ONLY. ALL MATERIALS AND METHODS SHALL BE AS APPROVED BY THE ARCHITECT. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

PROJECT NAME	
PROJECT NO.	
DATE	
SCALE	
PROJECT LOCATION	
CLIENT	
ARCHITECT	
WOODBRIDGE	
FIRST FLOOR	0044
SECOND FLOOR	0045
THIRD FLOOR	0046
LOWER LEVEL	0044
PROJECT NO.	0044
DATE	0000
PROJECT LOCATION	
CLIENT	
ARCHITECT	
WOODBRIDGE	
FIRST FLOOR	0044
SECOND FLOOR	0045
THIRD FLOOR	0046
LOWER LEVEL	0044
PROJECT NO.	0044
DATE	0000
PROJECT LOCATION	
CLIENT	
ARCHITECT	
WOODBRIDGE	



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NOTE:
 SEE TO STRUCTURE REPRESENTATION THIS PLAN MAY NOT
 BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S
 TO THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE
 WITH ALL APPLICABLE CODES AND REGULATIONS AND
 SUBJECT TO FIELD VERIFICATION AND INSPECTIONS MAY BE NECESSARY.
 ALL MATERIALS, METHODS AND APPROXIMATE QUANTITIES, PLACEMENT
 SHALL BE DETERMINED BY THE SUBTRACTOR PER CODE REQUIREMENTS.
 ALL MATERIALS, METHODS AND APPROXIMATE QUANTITIES MAY VARY APPROVED
 CONTRACTOR'S AND APPROVED MATERIALS MAY VARY APPROVED
 CONTRACTOR'S AND APPROVED MATERIALS MAY VARY APPROVED
 CONTRACTOR'S AND APPROVED MATERIALS MAY VARY APPROVED

VIEW/CUT GUIDE



FINISH SCHEDULE

CEILING	PLASTER
FLOOR	CONCRETE
WALL	BRICK
DOOR	WOOD
WINDOW	WOOD
BASE	WOOD
TRIM	WOOD
PAINT	WHITE

WOODRIDGE
 6807 Lane Ave
 6807 Lane Ave

