

PROPOSAL FORM
PROPOSAL TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF CRYSTAL
6526 45TH AVENUE NORTH

CHECK ONE:

BUILDER OFFERS \$60,000 TO PURCHASE THIS LOT

BUILDER OFFERS \$500 FOR A SIX-MONTH OPTION TO PURCHASE THIS LOT FOR \$60,000

This proposal is not a purchase agreement or other binding contract. At this time, the Builder is submitting a proposal to purchase this lot and build a new single family house in accordance with the RFP Guidelines, or is requesting a six-month option for same.

If a builder's proposal is tentatively accepted by the EDA board, then EDA staff would work with the Builder to determine the specific house plan and present it at the next EDA meeting. If the EDA board gives final approval at that time, the Builder would sign a Purchase & Redevelopment Agreement and provide \$2,000 earnest money for the lot. Only after such an Agreement is signed would a binding contract exist between the EDA and the Builder.

Builders may purchase a 6-month option on a lot for \$500, renewable for an additional 6 months for an additional \$500. The option provides the builder with exclusive rights to purchase the lot and build a house subject to the normal EDA process, requirements and guidelines. As a condition of the option, the builder must list the lot with a to-be-built house on the MLS for the duration of the option. The number of options is limited: No builder may have options on more than 10% of the EDA's lots, and no more than 50% of the EDA's lots may be under option at any time.

BUILDER: *(Builder is required to be a Residential Building Contractor licensed by the State of Minnesota.)*

Name: NOVAK-FLECK INC. State License Number: BC 001631

Tel (1): 763-424-4955 Tel (2): _____ Fax: (763) 424-1030

Address: 8857 ZEALAND AVE N. City/State/Zip: Brooklyn Park MN

Email: Cjohnson@NOVAK-FLECK.COM Signature: *C. Johnson* Date: 3-6-15

REQUIRED ATTACHMENTS AND ADDITIONAL INFORMATION:

Attach one representative example of a house you would plan to build on this lot if your proposal is selected. It does not need to show exactly how it would be placed on the lot; it just needs to show the approximate size, quality and features you would anticipate a new house would have on this lot. A specific house plan would be determined after a proposal is tentatively accepted by the EDA.

The EDA will only sell lots to builders who have experience in house construction in Minnesota. Please list the addresses of three houses you have built in Minnesota within the last five years, or attach other evidence of qualification for review by the EDA:

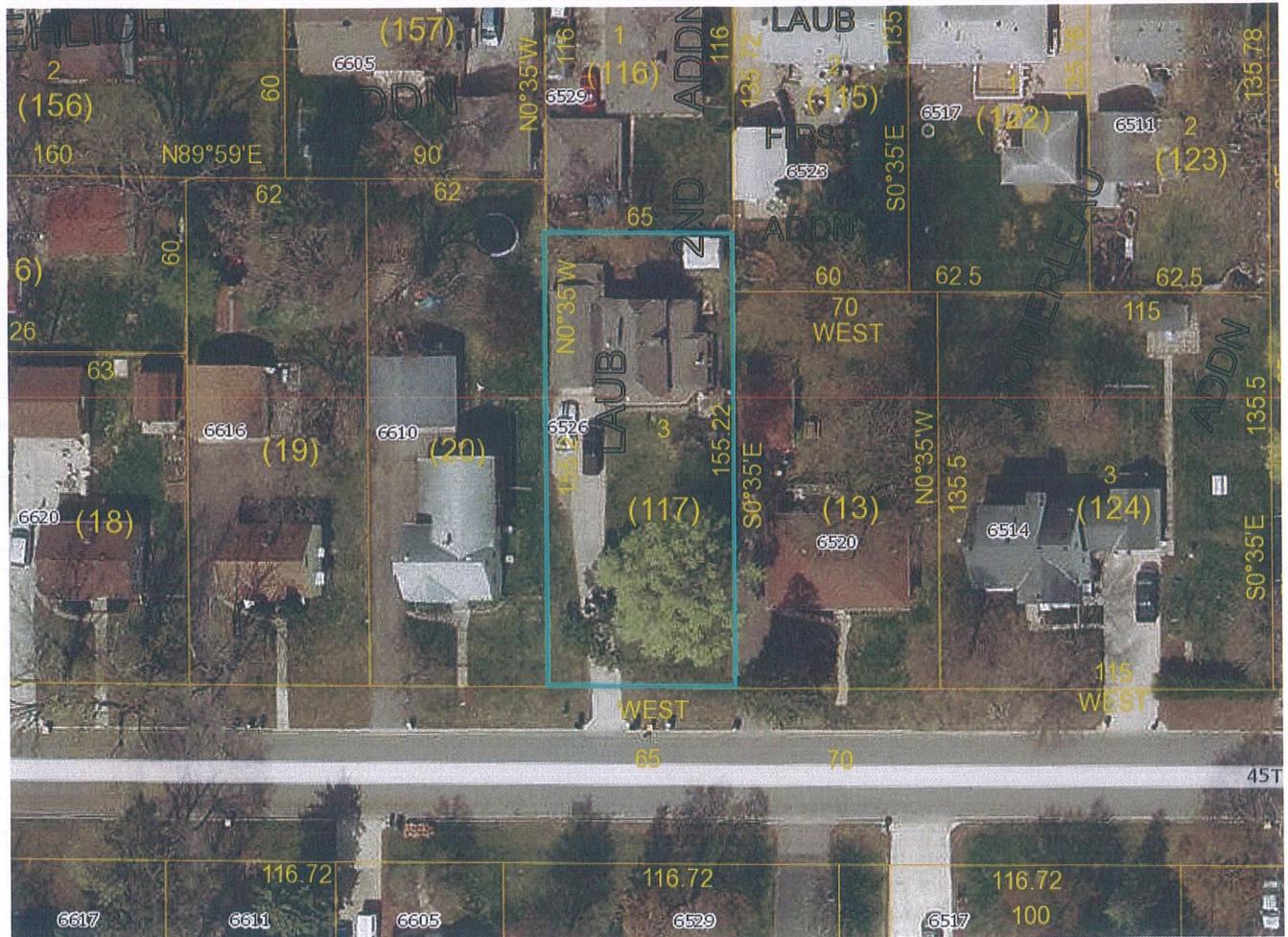
House #1: 5824 REGENT AVE N. CRYSTAL

House #2: 4720 DOUGLAS DRIVE N. CRYSTAL

House #3: 5332 50th ST N. CRYSTAL

SUBMIT PROPOSAL TO: Attn: John Sutter, Crystal EDA, 4141 Douglas Dr N, Crystal MN 55422
TEL: 763.531.1142 FAX: 763.531.1188 john.sutter@crystalmn.gov

**PROPOSALS MAY BE SUBMITTED BY HAND DELIVERY, U.S. MAIL, FAX, OR EMAIL (.pdf format).
PROPOSALS MAY BE SUBMITTED AT ANY TIME AND WILL BE CONSIDERED ON A "FIRST COME,
FIRST SERVED" BASIS UNLESS THE LOT HAS BEEN OPTIONED BY ANOTHER BUILDER.**



Custom-Build (Rambler)

The Gregory Group
d.b.a.
LOT SURVEYS COMPANY, INC.
Established in 1962
LAND SURVEYORS
REGISTERED UNDER THE LAWS OF STATE OF MINNESOTA
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Fax No. 560-3522

INVOICE NO. 83218
F.B.NO. 1079-06
SCALE: 1" = 20' 30"

- Denotes Found Iron Monument
- Denotes Iron Monument

x000.0 Denotes Existing Elevation

- ← Denotes Surface Drainage
- - - Denotes Existing Contour
- ~ ~ ~ Denotes Proposed Contour

Basis for bearings is assumed

Surveyors Certificate

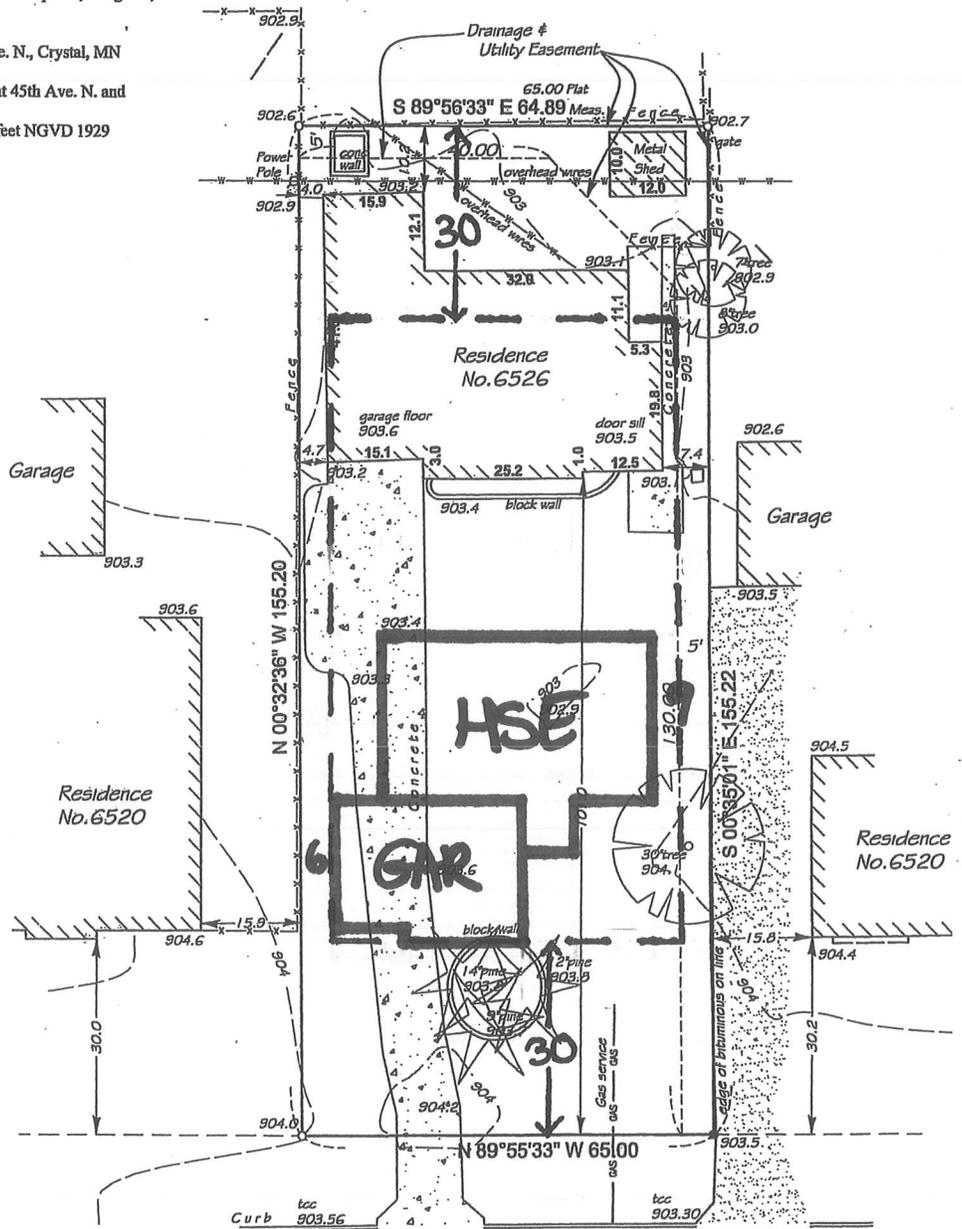
EXISTING CONDITIONS SURVEY FOR:
CITY OF CRYSTAL

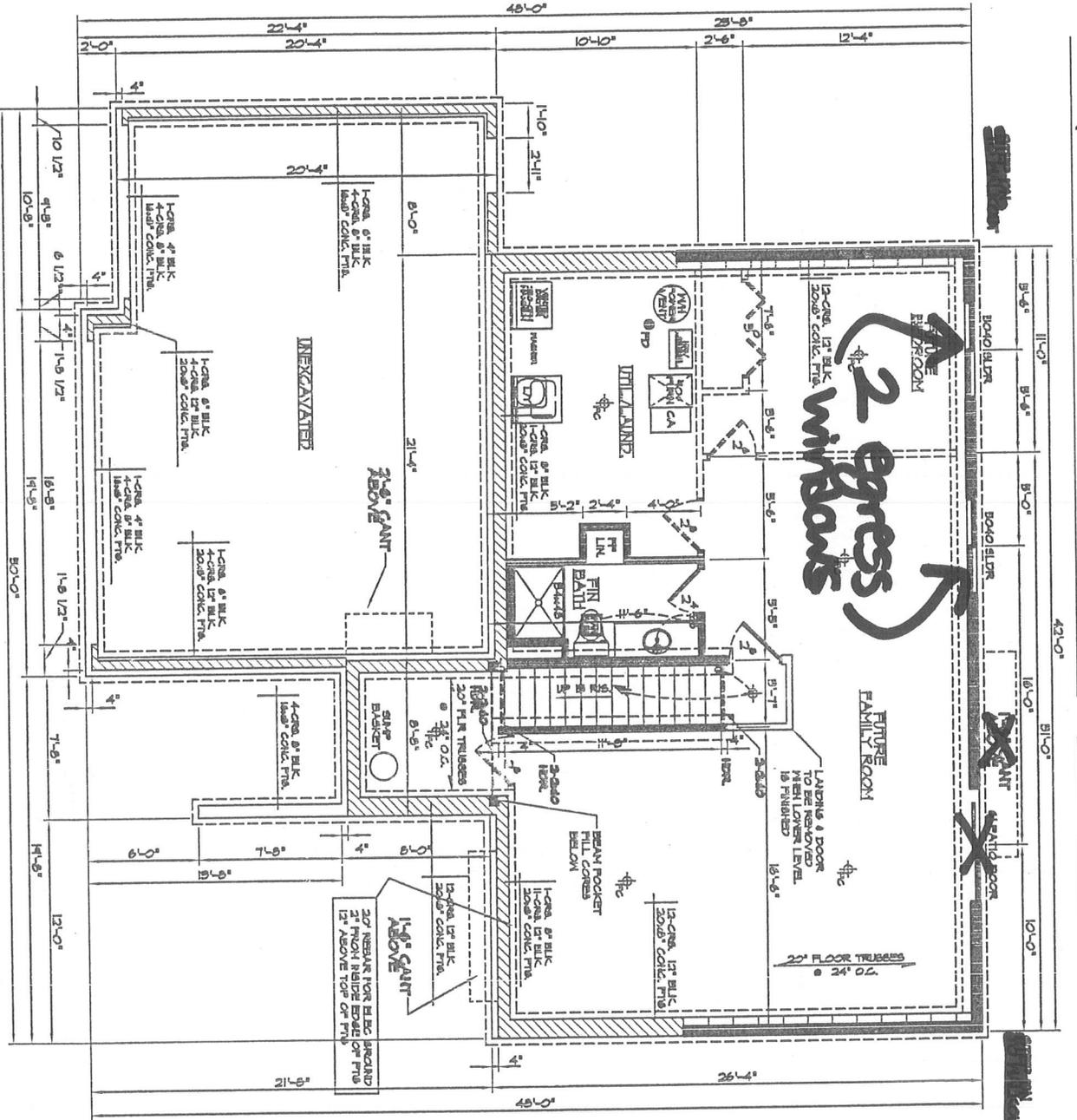
Property located in Section 8, Township 118, Range 21, Hennepin County, Minnesota.

Property Address: 6526 45th Ave. N., Crystal, MN

Benchmark: Top nut of hydrant at 45th Ave. N. and Hampshire Ave. N.

Elevation = 908.23 feet NGVD 1929





LOWER LEVEL AND FOUNDATION PLAN

SCALE 1/4"=1'-0"

WINDOW HDR. SIZES

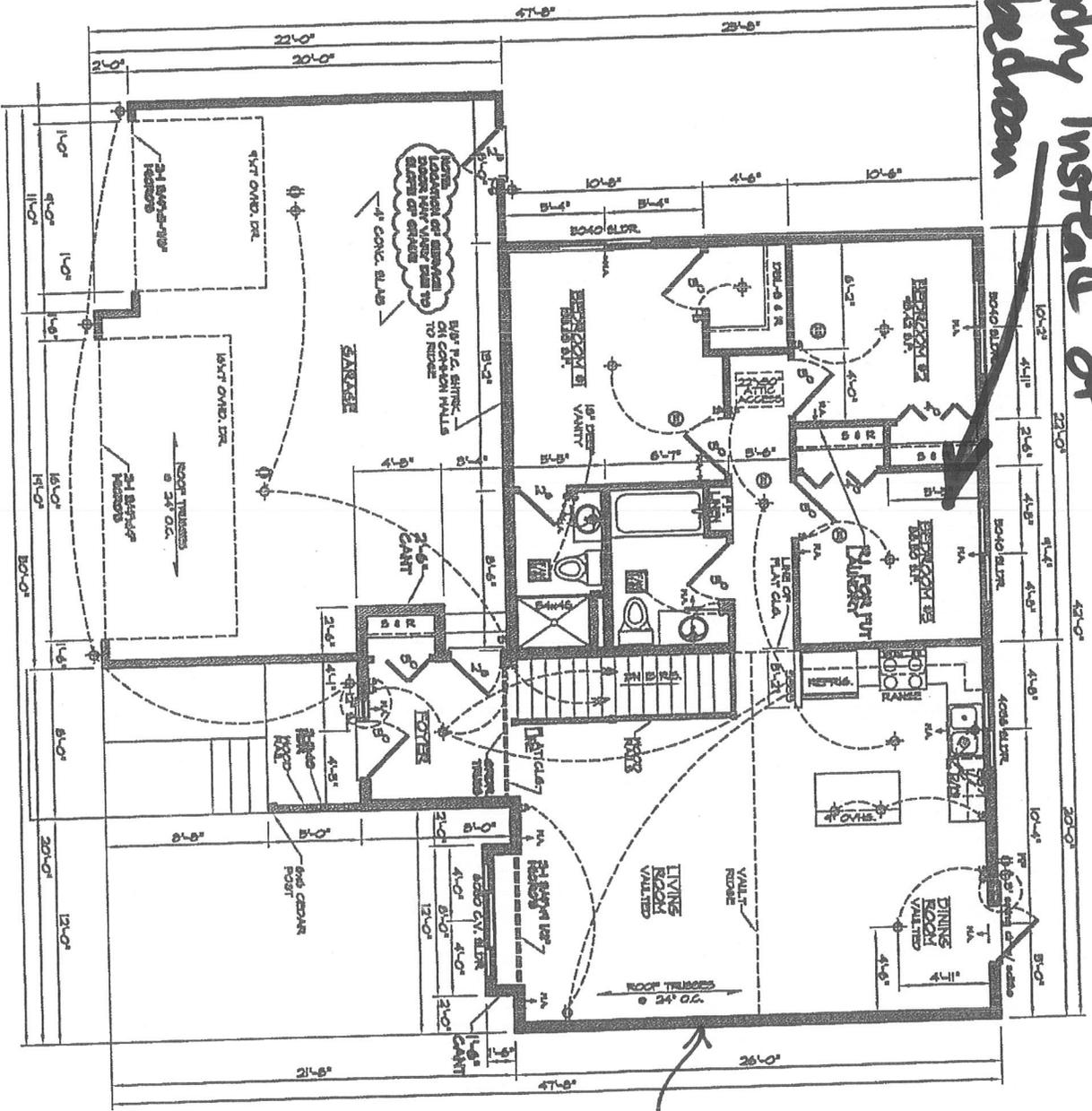
1'-5" = 2-2x10 HDRS.
 6'-0" = 2-1 5/4"x4 1/2" TIMBERSTRAND
 4'-12" = 2-1 5/4"x11 7/8" TIMBERSTRAND
 (ALL SIZES NOTED OTHERWISE)



NOTE:
 -DUE TO ELECTRONIC REPRODUCTION, THIS PLAN MAY NOT SCALE CORRECTLY. THE HOUSE WILL BE BUILT ACCORDING TO THE DIMENSIONS SPECIFIED.
 -ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.
 -ALL ELECTRICAL SYMBOLS SHOWN ARE APPROXIMATE ACTUAL PLACEMENT WILL BE DETERMINED BY THE ELECTRICIAN PER CODE REQUIREMENTS.
 -ALL SQUARE FOOTAGES ARE DESIGNED RELIABLE BUT NOT GUARANTEED
 -AIRTIGHT BOXES ON EXTERIOR WALLS, GATEWAY OVER
 -CAULK & FLASH ALL EXTERIOR OPENINGS.

| | |
|-----------------|-------------|
| PLAN | SCALE/DATUM |
| FOOTING | |
| FOUNDATION | |
| FIRST FLOOR | 10-14 |
| SECOND FLOOR | 10-15 |
| THIRD FLOOR | 10-16 |
| ATTACHED GARAGE | 10-17 |
| PERMITS | 10-18 |
| DATE | 10-19 |
| BY | 10-20 |
| FOR | 10-21 |
| PROJECT | 10-22 |
| LOCATION | 10-23 |
| OWNER | 10-24 |
| ARCHITECT | 10-25 |
| ADDRESS | 10-26 |
| CITY | 10-27 |
| STATE | 10-28 |
| COUNTY | 10-29 |
| ZIP | 10-30 |
| PHONE | 10-31 |
| FAX | 10-32 |
| EMAIL | 10-33 |
| WEBSITE | 10-34 |
| DESIGNER | 10-35 |
| DATE | 10-36 |
| PROJECT | 10-37 |
| LOCATION | 10-38 |
| OWNER | 10-39 |
| ARCHITECT | 10-40 |
| ADDRESS | 10-41 |
| CITY | 10-42 |
| STATE | 10-43 |
| COUNTY | 10-44 |
| ZIP | 10-45 |
| PHONE | 10-46 |
| FAX | 10-47 |
| EMAIL | 10-48 |
| WEBSITE | 10-49 |
| DESIGNER | 10-50 |
| DATE | 10-51 |
| PROJECT | 10-52 |
| LOCATION | 10-53 |
| OWNER | 10-54 |
| ARCHITECT | 10-55 |
| ADDRESS | 10-56 |
| CITY | 10-57 |
| STATE | 10-58 |
| COUNTY | 10-59 |
| ZIP | 10-60 |
| PHONE | 10-61 |
| FAX | 10-62 |
| EMAIL | 10-63 |
| WEBSITE | 10-64 |
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| DATE | 10-66 |
| PROJECT | 10-67 |
| LOCATION | 10-68 |
| OWNER | 10-69 |
| ARCHITECT | 10-70 |
| ADDRESS | 10-71 |
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| STATE | 10-73 |
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| DESIGNER | 10-80 |
| DATE | 10-81 |
| PROJECT | 10-82 |
| LOCATION | 10-83 |
| OWNER | 10-84 |
| ARCHITECT | 10-85 |
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| EMAIL | 10-93 |
| WEBSITE | 10-94 |
| DESIGNER | 10-95 |
| DATE | 10-96 |
| PROJECT | 10-97 |
| LOCATION | 10-98 |
| OWNER | 10-99 |
| ARCHITECT | 11-00 |
| ADDRESS | 11-01 |
| CITY | 11-02 |
| STATE | 11-03 |
| COUNTY | 11-04 |
| ZIP | 11-05 |
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| EMAIL | 11-08 |
| WEBSITE | 11-09 |
| DESIGNER | 11-10 |
| DATE | 11-11 |
| PROJECT | 11-12 |
| LOCATION | 11-13 |
| OWNER | 11-14 |
| ARCHITECT | 11-15 |
| ADDRESS | 11-16 |
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| DATE | 11-41 |
| PROJECT | 11-42 |
| LOCATION | 11-43 |
| OWNER | 11-44 |
| ARCHITECT | 11-45 |
| ADDRESS | 11-46 |
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| COUNTY | 11-49 |
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| OWNER | 14-98 |
| ARCHITECT | 14-99 |
| ADDRESS | 15-00 |
| CITY | 15-01 |
| STATE | 15-02 |
| COUNTY | 15-03 |
| ZIP | 15-04 |
| PHONE | 15-05 |
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| EMAIL | 15-07 |
| WEBSITE | 15-08 |
| DESIGNER | 15-09 |
| DATE | 15-10 |
| PROJECT | 15-11 |
| LOCATION | 15-12 |
| OWNER | 15-13 |
| ARCHITECT | 15-14 |
| ADDRESS | 15-15 |
| CITY | 15-16 |
| STATE | 15-17 |
| COUNTY | 15-18 |
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| EMAIL | 15-22 |
| WEBSITE | 15-23 |
| DESIGNER | 15-24 |
| DATE | 15-25 |
| PROJECT | 15-26 |
| LOCATION | 15-27 |
| OWNER | 15-28 |
| ARCHITECT | 15-29 |
| ADDRESS | 15-30 |
| CITY | 15-31 |
| STATE | 15-32 |
| COUNTY | 15-33 |
| ZIP | 15-34 |
| PHONE | |

Laundry instead of
one bedroom



FIRST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

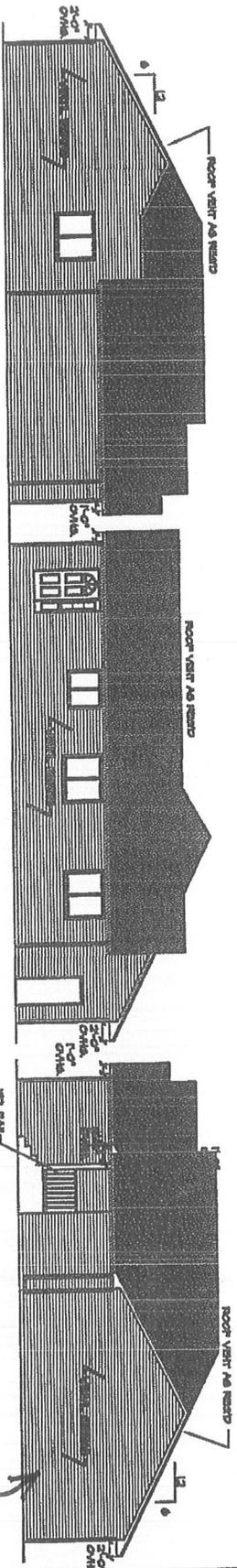
Add 2+
Windows to
this wall

NOTES

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- ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.
- ALL ELECTRICAL SYMBOLS SHOWN ARE APPROXIMATE. ACTUAL PLACEMENT WILL BE DETERMINED BY THE ELECTRICIAN PER CODE REQUIREMENTS.
- ALL SQUARE FOOTAGES ARE DEEMED RELIABLE BUT NOT GUARANTEED.
- AIRTIGHT BOXES ON EXTERIOR WALLS, CATEGORY ONE.
- CAULK & FLASH ALL EXTERIOR OPENINGS.



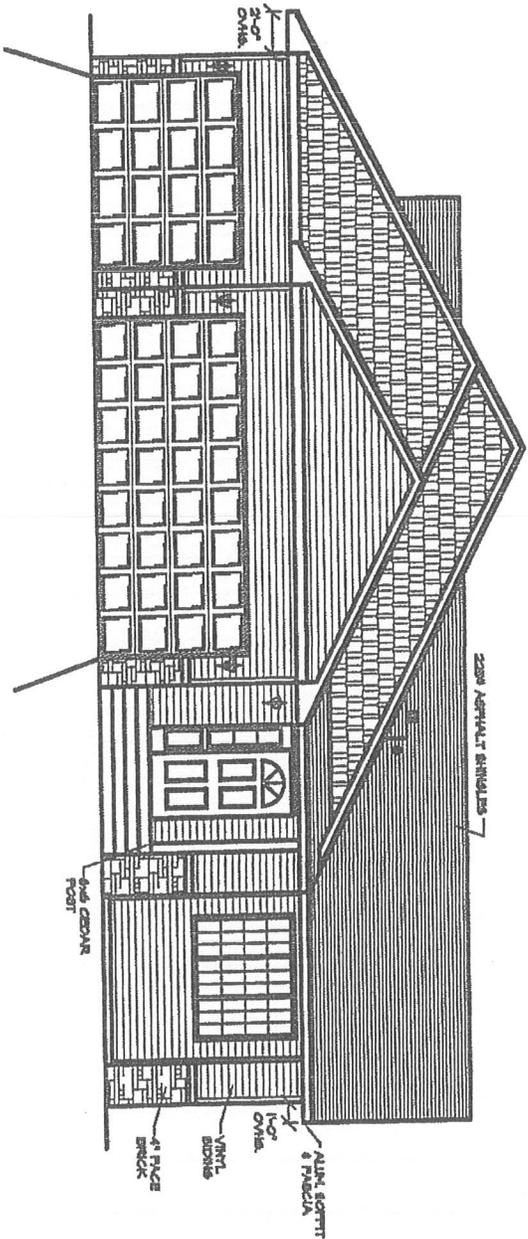
| | |
|--------------------------------|------------------------|
| PROJECT: BRENTWOOD | DATE: 1/15/10 |
| OWNER: [REDACTED] | DESIGNER: [REDACTED] |
| ARCHITECT: [REDACTED] | ENGINEER: [REDACTED] |
| GENERAL CONTRACTOR: [REDACTED] | PERMIT NO.: [REDACTED] |
| DATE OF ISSUE: [REDACTED] | SCALE: 1/4"=1'-0" |
| PROJECT NO.: [REDACTED] | DATE: [REDACTED] |



LEFT ELEVATION
SCALE 1/8"=1'-0"

REAR ELEVATION
SCALE 1/8"=1'-0"

RIGHT ELEVATION
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE 1/4"=1'-0"

Add 2+ windows to this wall

NOTE:
DUE TO ELECTRONIC REPRODUCTION, THIS PLAN MAY NOT SCALE CORRECTLY. THE HOME WILL BE BUILT ACCORDING TO THE DIMENSIONS SPECIFIED.
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-ALL SQUARE FOOTAGES ARE DEEMED RELIABLE BUT NOT GUARANTEED.
-ARTIGHT SIDING ON EXTERIOR WALLS. (CATEGORY ONE)
-CALK & FLASH ALL EXTERIOR OPENINGS.



| | |
|-----------------------|--------------|
| FRONT FLOOR | 10' x 10' 0" |
| REAR FLOOR | 10' x 10' 0" |
| BRENTWOOD | |
| LITTLE ROCK, AR | |
| 1000 N. 10TH ST. | |
| LITTLE ROCK, AR 72202 | |